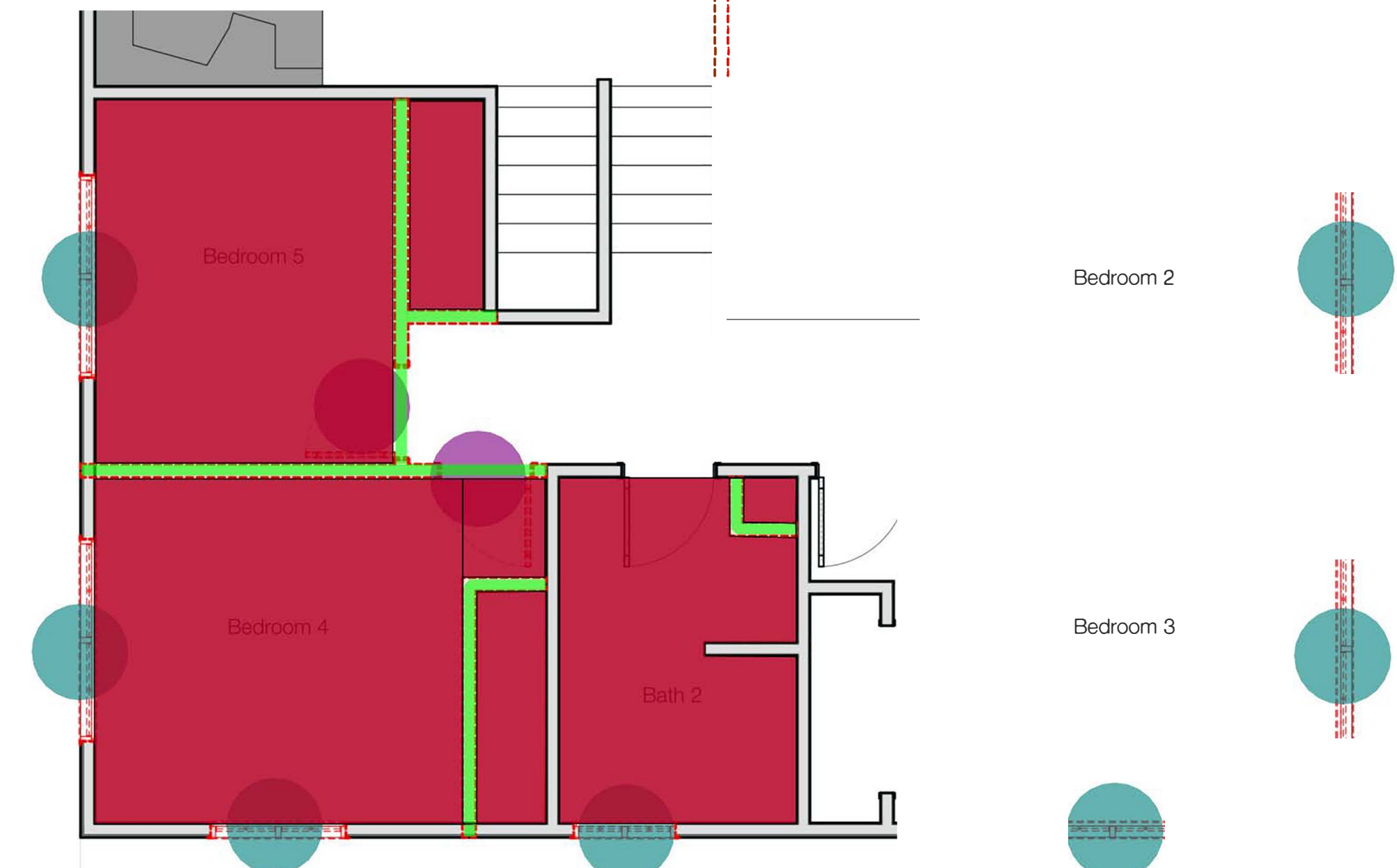
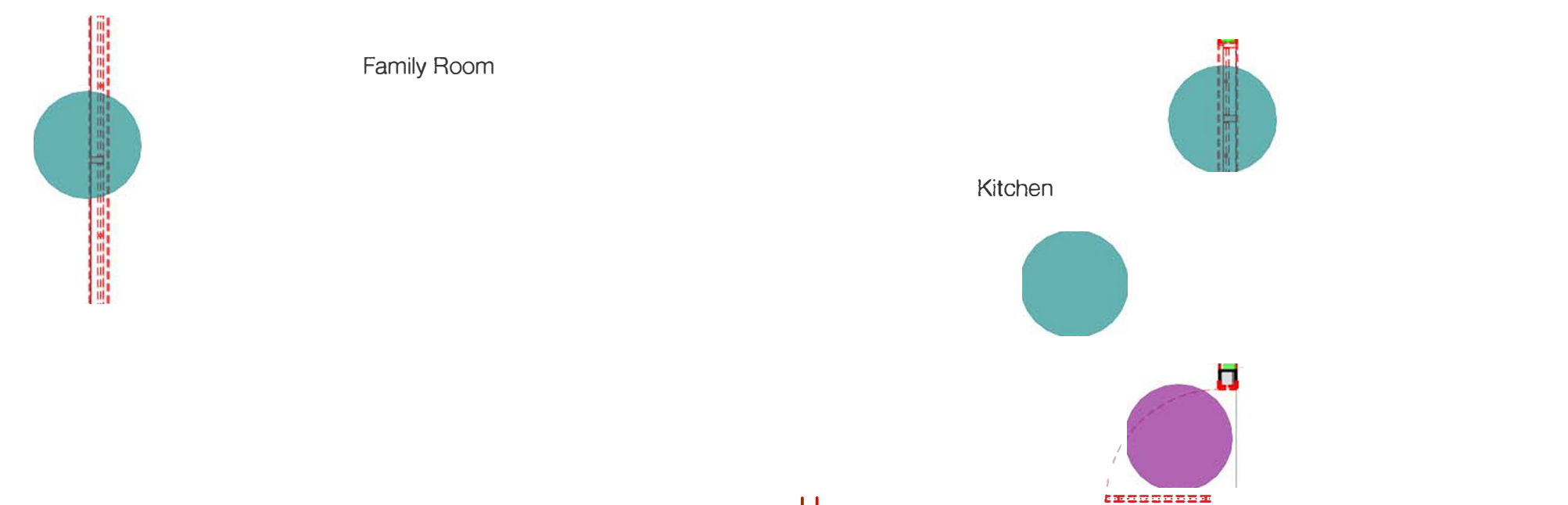
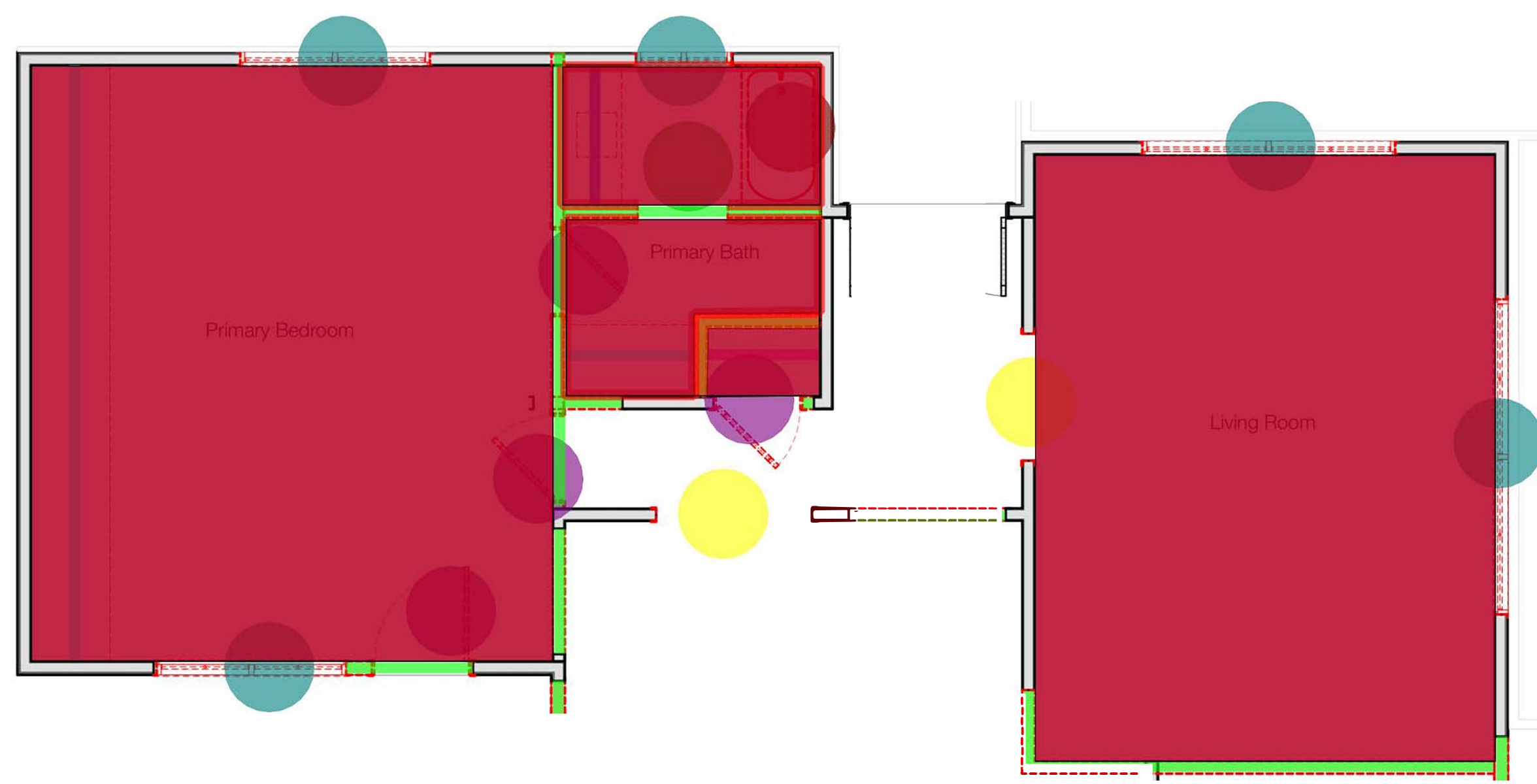


Remove Single Leaf Door	13.0 EA	●
Remove Windows	16.0 EA	●
Remove Garage Door	1.0 EA	●
Remove Walls	153.3 FT	□
Remove Frame From Cased Opening	2.0 EA	●
Remove Countertop	4.4 FT	■
Remove Closet	3.6 FT	□
Remove Closets	23.2 FT	□
Remove Bath Tub	1.0 EA	●
Remove Bath Accessories	2.0 EA	●
Remove Floor Finishes	990.1 SQ FT	■
Remove Kitchen Equipments & Fixtures	1.0 EA	●
Remove Wall Finishes	73.1 FT	□
Remove Ceiling	1774.8 SQ FT	■
Area	851.6 SQ FT	□



1 Demolition Lower Floor Plan
SCALE: 1/4" = 1'-0"

2 Demolition Floor Plan
SCALE: 1/4" = 1'-0"

PERMIT SET DOCUMENTS
DRAWN: KC
ISSUED: 8/18/23
SHEET TITLE:
DEMOLITION PLANS
SHEET NUMBER:
A006
LEGAL DESCRIPTION:
APN: 1008-59-302
LOT: 15
BLOCK:
TRACT 4972

- (3'-0"x6'-8") Type A, Single leaf Fiber Glass Door W/ Frame **1.0 EA**
- (2'-8"x6'-8") Type B, Single leaf Hollow Core Door W/ Frame **1.0 EA**
- (2'-8"x6'-8") Type C, Single leaf Hollow Core Door W/ Frame **1.0 EA**
- (3'-0"x6'-8") Type D, Single leaf Fiber Glass Door W/ Frame **1.0 EA**
- (2'-8"x6'-8") Type E, Single leaf Hollow Core Door W/ Frame **1.0 EA**
- (2'-8"x6'-8") Type F, Single leaf Hollow Core Door W/ Frame **1.0 EA**
- (2'-8"x6'-8") Type G, Single leaf Hollow Core Door W/ Frame **1.0 EA**
- (2'-8"x6'-8") Type H, Single leaf Hollow Core Door W/ Frame **1.0 EA**
- (2'-8"x6'-8") Type I, Single leaf Hollow Core Door W/ Frame **1.0 EA**
- (2'-8"x6'-8") Type J, Single leaf Hollow Core Door W/ Frame **1.0 EA**
- (2'-8"x6'-8") Type K, Single leaf Hollow Core Door W/ Frame **1.0 EA**
- (2'-8"x6'-8") Type L, Single leaf Hollow Core Door W/ Frame **1.0 EA**
- (2'-8"x6'-8") Type M, Single leaf Hollow Core Door W/ Frame **1.0 EA**
- (10'-0"x6'-8") Type N, Double Sliding Fiber Glass Door W/ ... **1.0 EA**
- (2'-8"x6'-8") Type O, Single leaf Hollow Core Door W/ Frame **1.0 EA**
- (2'-8"x6'-8") Type P, Single leaf Hollow Core Door W/ Frame **1.0 EA**
- (2'-8"x6'-8") Type Q, Single leaf Hollow Core Door W/ Frame **1.0 EA**
- (3'-0"x6'-8") Type R, Single leaf Fiber Glass Door W/ Frame **1.0 EA**
- (3'-0"x6'-8") Type S, Single leaf Fiber Glass Door W/ Frame **1.0 EA**
- (2'-8"x6'-8") Type T, Single leaf Hollow Core Door W/ Frame **1.0 EA**
- (2'-8"x6'-8") Type U, Single leaf Hollow Core Door W/ Frame **1.0 EA**
- (2'-8"x6'-8") Type V, Single leaf Hollow Core Door W/ Frame **1.0 EA**
- (2'-8"x6'-8") Type W, Single leaf Hollow Core Door W/ Frame **1.0 EA**
- (2'-0"x3'-0") Single Hung Window **1.0 EA**
- (5'-0"x3'-0") Double Hung Window **1.0 EA**
- (6'-0"x4'-0") Double Hung Egress Window **1.0 EA**
- (6'-0"x4'-0") Double Hung Window **1.0 EA**
- (6'-8"x4'-0") Double Hung Window **1.0 EA**
- (6'-0"x2'-6") Double Hung Window **1.0 EA**
- (2'-6"x2'-6") Single Hung Window **1.0 EA**
- (6'-0"x5'-0") Double Hung Window **1.0 EA**
- (6'-0"x4'-0") Double Hung Window **1.0 EA**
- (4'-0"x4'-0") Double Hung Window **1.0 EA**
- (6'-0"x3'-0") Double Hung Window **1.0 EA**
- (6'-0"x3'-0") Double Hung Window **1.0 EA**
- (4'-0"x2'-0") Double Hung Window **1.0 EA**
- (3'-0"x2'-0") Single Hung Window **1.0 EA**
- (4'-0"x2'-0") Double Hung Window **1.0 EA**
- (6'-0"x3'-0") Double Hung Window **1.0 EA**
- (2'-4"x3'-0") Single Hung Window **1.0 EA**
- (8'-0"x4'-0") Double Hung Window **1.0 EA**
- (6'-0"x3'-6") Double Hung Window **1.0 EA**
- (2'-0"x2'-0") Single Hung Window **1.0 EA**
- (8'-0"x5'-0") Double Hung Window **1.0 EA**
- Ceramic Floor Tile **328.6 SQ FT**
- 1/8" Vinyl Wood Floor **1406.2 SQ FT**
- (1'-6" W) Patch & Repair Floor **25.7 FT**
- Wood Wall Base **462.7 FT**
- (8'-0" H) Wall Tile **69.4 FT**
- P2 Interior Wall **169.8 FT**
- Interior Wall Infill (3'-0" H) **6.0 FT**
- W1 Exterior Wall **22.8 FT**
- (2'-0" D) Countertop **39.3 FT**
- Dishwasher **2.0 EA**
- Cooking Range **2.0 EA**
- (2'-0" D x 2'-10" H) Base Cabinets W/ Drawers **44.8 FT**
- (1'-0" D x 3'-3" H) Upper Cabinets **24.5 FT**
- Fridge **2.0 EA**
- (1'-0" D x 2'-0" H) Upper Cabinets **6.2 FT**
- (1'-0" D) Pantry Closet **3.5 FT**
- (1'-6" D) Pantry Closet **3.9 FT**
- (1'-10" D x 2'-10" H) Vanity Cabinets W/ Drawers **25.3 FT**
- (4'-0" D) Countertop **6.6 FT**
- Washer **1.0 EA**
- Dryer **1.0 EA**
- (2'-9" D) Countertop **4.7 FT**
- Shower Partition W/ (2'-0"x6'-8") Door **20.6 FT**
- Tile Wall Base **128.6 FT**
- (8'-3" H) New Wall Paint **387.8 FT**
- (8'-3" H) Existing Wall Paint **650.8 FT**
- Shower Curb **15.6 FT**
- (1'-10" D) Countertop **31.0 FT**
- (1'-7" D) Closet W Rod & Shelves **5.5 FT**
- (2'-2" D) Walk In Closet **11.4 FT**
- (1'-6" D) Walk In Closet W/ Shelf & Pole **34.9 FT**
- Ceiling **1615.4 SQ FT**
- (2'-0" D) Full Height cabinets **3.0 FT**
- MR Ceiling **335.3 SQ FT**
- Exterior Wall Infill (4'-0" H) **26.8 FT**
- Low Wall (3'-6" H) **6.6 FT**
- Interior Wall Infill (7'-0" H) **14.0 FT**
- Linear **251.9 FT**

FLOOR PLAN NOTES

INTERIOR ENVIRONMENT

1. SHOWER DOORS SHALL SWING OUT. NET AREA OF SHOWER RECEPTOR SHALL BE A MIN. OF 1024 SQ. INCHES AND ENCOMPASS 30" IN DIA.

2. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS INSTALLED SHALL BE FINISHED WITH A SMOOTH, NON ABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 72" ABOVE THE FLOOR. CRC R307.2

3. FLAME SPREAD INDEX AND SMOKE DEVELOPED INDEX FOR INSULATION SHALL BE IN ACCORDNACE WITH SECTIONS R302.101 THROUGH R302.10.5

SMOKE AND CARBON MONOXIDE ALARMS

4. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH BOTH SECTIONS R314 AND SECTION R315. ALL APPLICABLE STANDARDS AND REQUIREMTS FOR LISTING AND APPROVAL BY THE OFFICE OF THE STARE FIRE MARSHAL, FOR SMOKE ALARMS.

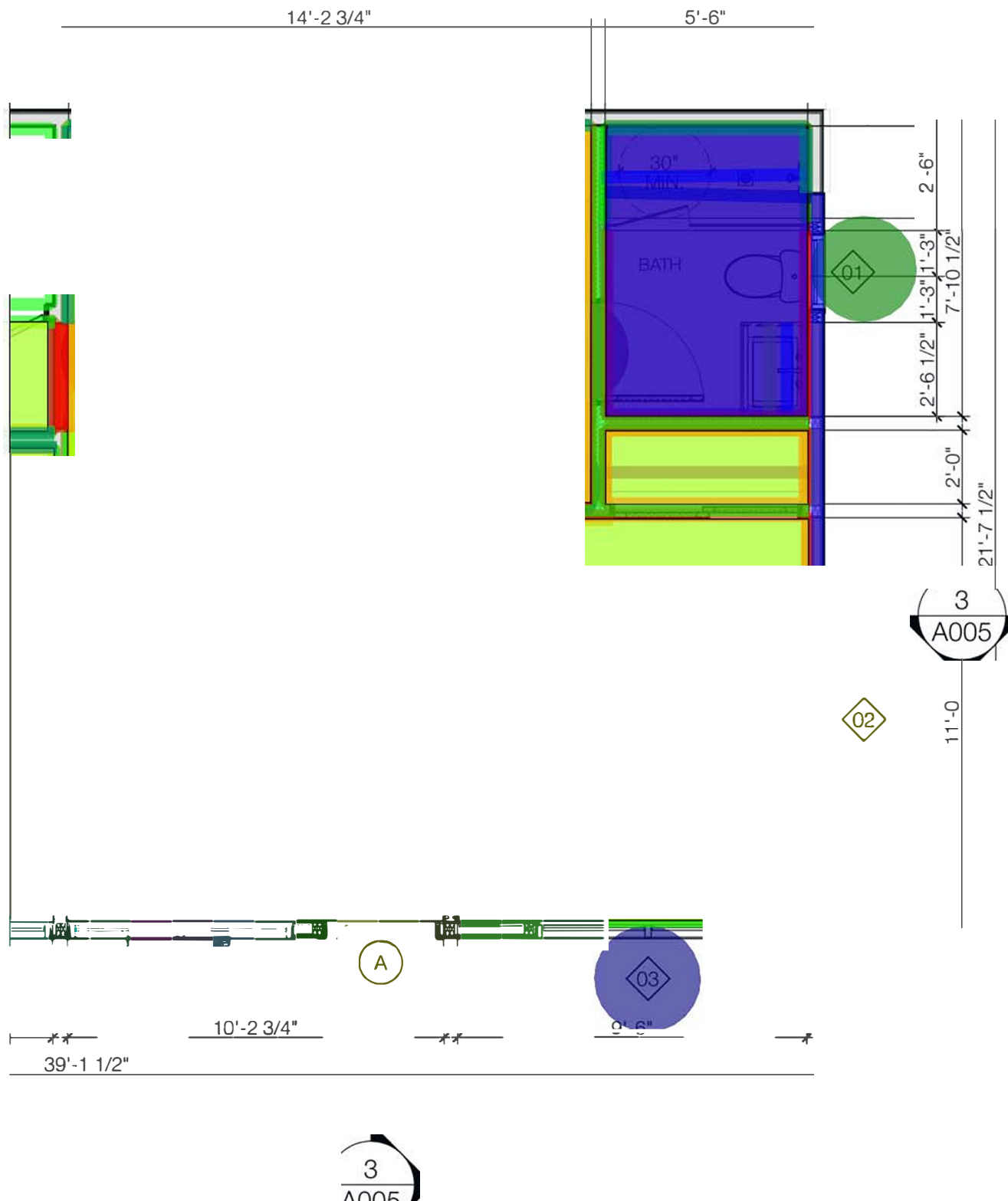
EXTERIOR LATH

5. WATER RESISTIVE EXTERIOR LATH SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND WHERE APPLIED OVER WOOD BASE SHEATHING SHALL INCLUDE A WATER RESISTIVE VAPOR PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER. THE INDIVIDUAL LAYERS SHALL BE INSTALLED INDEPENDENTLY SUCH THAT EACH LAYER PROVIDES A SEPARATE CONTINUOUS PLANE AND ANY SLASHING INSTALLED IN ACCORDANCE WITH SECTION R703.4 AND INTENDED TO DRAIN TO WATER RESISTIVE BARRIER IS DIRECTED BETWEEN THE LAYERS. CRC R703.7.3

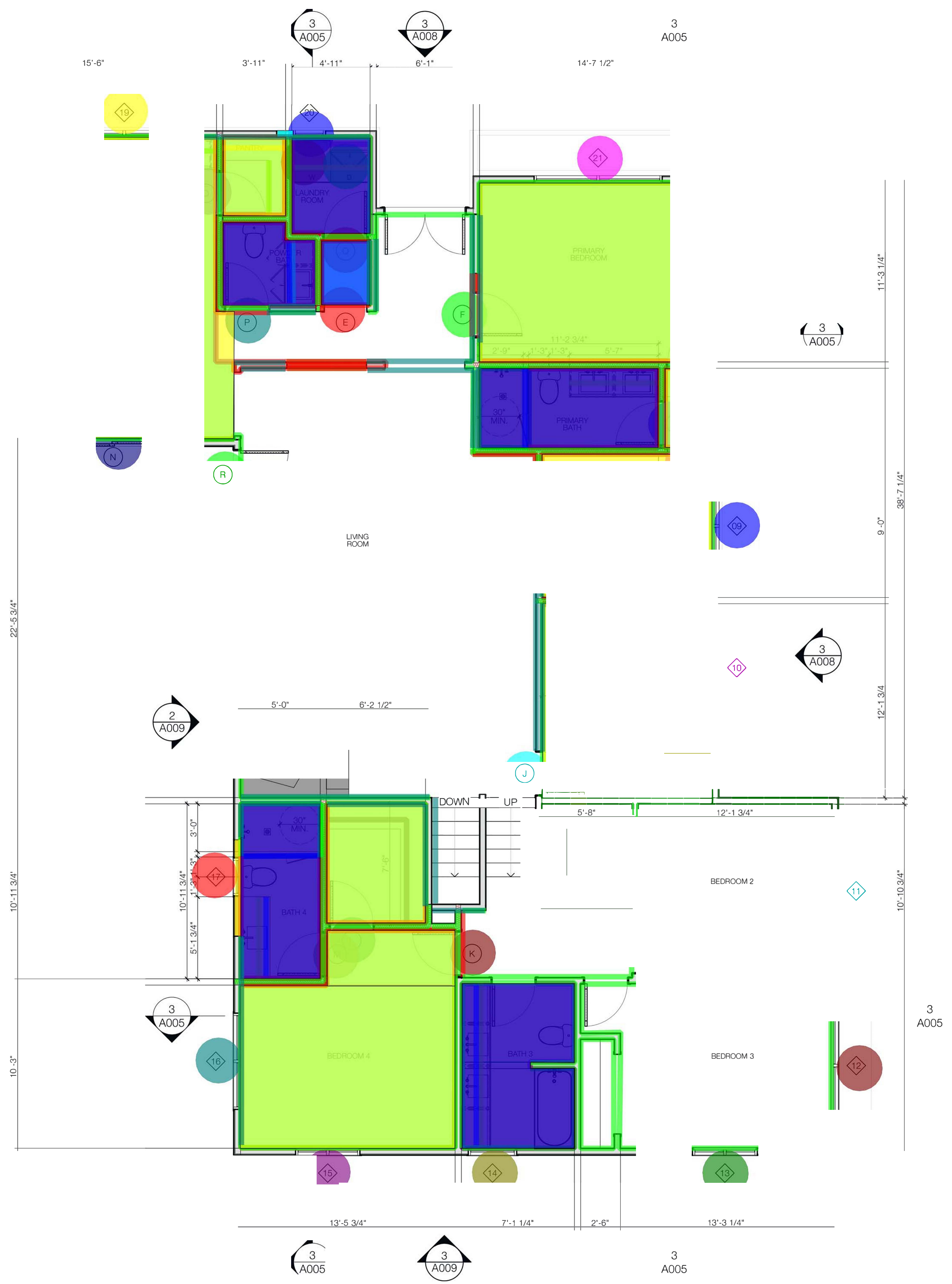
PLUMBING

6. AS ON JAN 1, 2014 SENATE BILL 407 REQUIRES ALL PLUMBING FIXTURES TO BE REPLACED WITH COMPLIANT WATER CONSERVING FIXTURES AND SHALL NEED TO BE VERIFIED PRIOR TO BUILDING FINAL INSPECTION

7. SHOWERS AND TUB SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE THERMOSTATIC OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION FOR THE RATED FLOW RATE OF THE INSTALLED SHOWER HEAD.



1 Proposed Floor Plan
SCALE: 1/4" = 1'-0"



PERMIT SET DOCUMENTS

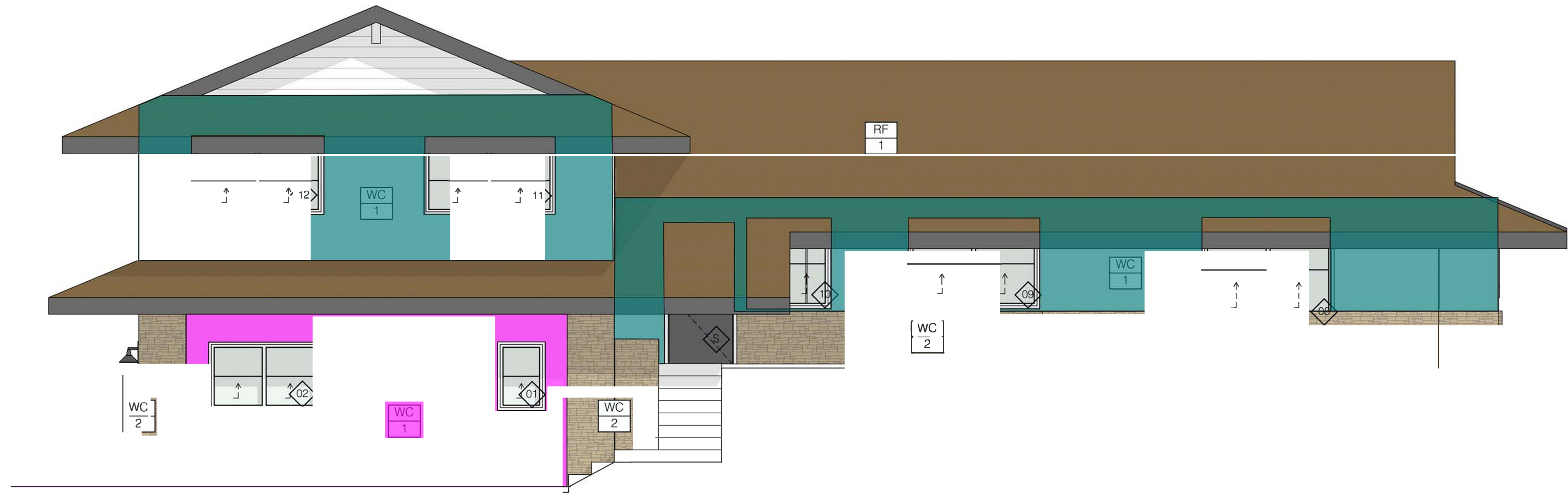
DRAWN: KC
ISSUED: 8/18/23

SHEET TITLE:
PROPOSED PLANS

SHEET NUMBER:
A007

LEGAL DESCRIPTION:

APN: 1008-59-302
LOT: 15
BLOCK:
TRACT: 4972



East Elevation

	Patch & Repair W...	478.9 SQ FT	<input type="checkbox"/>
	WC-1 New	122.5 SQ FT	<input type="checkbox"/>

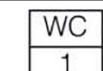
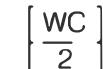



3 North Elevation
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES

1. PRE-FINISHED COPING, SCUPPERS, CONDUCTOR HEADS AND DOWNSPOUTS SHALL BE KYNAR FINISH. MEDIUM DARK BRONZE, UNO.
2. EXTERIOR SOFFITS UNDER FLAT AND PITCHED ROOFS SHALL BE SELECT TIGHT KNOT CEDAR PLANK; FINISH TBD.
3. ALL EXPOSED PIPING AND CONDUIT SHALL BE PAINTED TO MATCH ADJACENT WALL MATERIAL.
4. PROVIDE SOLID BLOCKING IN WALL FOR BUILDING MOUNTED FIXTURES AS REQUIRED. REFER TO ELECTRICAL DRAWINGS FOR BUILDING MOUNTED FIXTURE HEIGHTS AND LOCATIONS.
5. PRECAST CONCRETE COLOR TO BE SELECTED BY DESIGNER FROM MFR STANDARD RANGE.
6. SAMPLES OF ALL MATERIALS SHALL BE SUBMITTED TO OWNER AND DESIGNER FOR APPROVAL PRIOR TO INSTALLATION.

EXTERIOR FINISH LEGEND

	EXTERIOR CEMENT PLASTER SPECIFICATION: PORTLAND CEMENT PLASTER 7/8" EXTERIOR GRADE WITH INTEGRAL, ST. TROWEL SMOOTH, ICC ESR 2288 COLOR: TBD NOTES: TBD
	EXTERIOR STONE SPECIFICATION: EXISTING STONE TO REMAIN COLOR: TBD NOTES: TBD
	SHINGLE ROOFING MANUFACTURER: GAF TIMBERLINE® COOL ROOF. CLASS 'A' RATED SPECIFICATION: TO MATCH EXISTING COLOR: TO MATCH EXISTING NOTES: ICC ESR# 1475

PERMIT SET DOCUMENTS

DRAWN: KC
ISSUED: 8/18/23

SHEET TITLE:

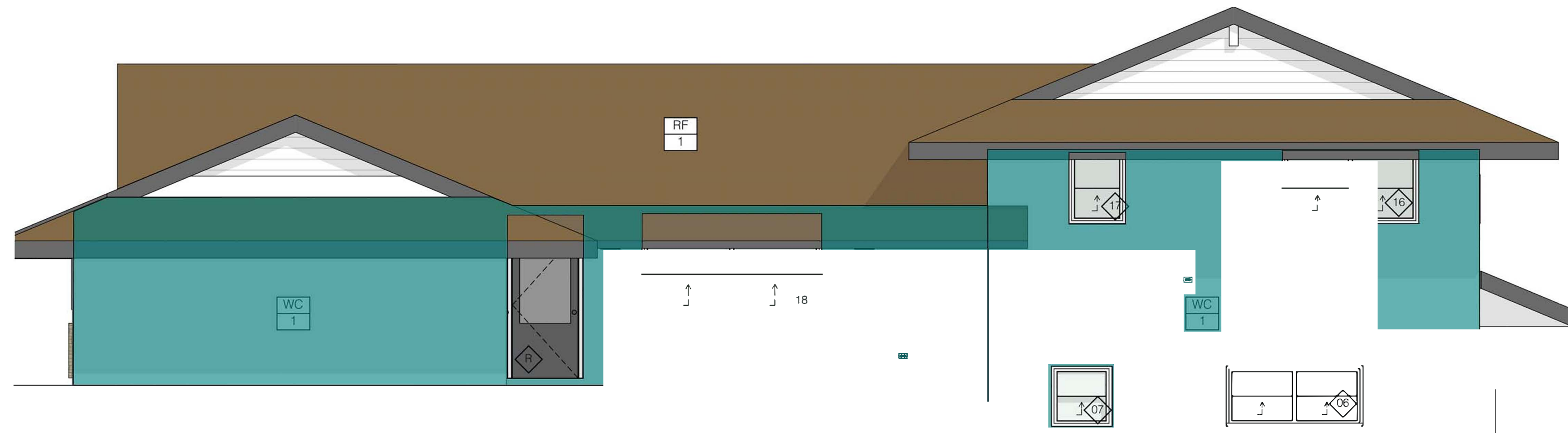
ELEVATIONS

SHEET NUMBER:

A008

LEGAL DESCRIPTION:

APN: 1008-59-302
LOT: 15
BLOCK:
TRACT: 4972



2 West Elevation
SCALE: 1/4" = 1'-0"

 Patch & Repair WC1 711.8 SQ FT 



3 South Elevation
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES

1. PRE-FINISHED COPING, SCUPPERS, CONDUCTOR HEADS AND DOWNSPOUTS SHALL BE KYNAR FINISH: MEDIUM DARK BRONZE, UNO.
2. EXTERIOR SOFFITS UNDER FLAT AND PITCHED ROOFS SHALL BE SELECT TIGHT KNOT CEDAR PLANK; FINISH TBD.
3. ALL EXPOSED PIPING AND CONDUIT SHALL BE PAINTED TO MATCH ADJACENT WALL MATERIAL.
4. PROVIDE SOLID BLOCKING IN WALL FOR BUILDING MOUNTED FIXTURES AS REQUIRED. REFER TO ELECTRICAL DRAWINGS FOR BUILDING MOUNTED FIXTURE HEIGHTS AND LOCATIONS.
5. PRECAST CONCRETE COLOR TO BE SELECTED BY DESIGNER FROM MFR STANDARD RANGE
6. SAMPLES OF ALL MATERIALS SHALL BE SUBMITTED TO OWNER AND DESIGNER FOR APPROVAL PRIOR TO INSTALLATION.

EXTERIOR FINISH LEGEND

WC 1	EXTERIOR CEMENT PLASTER SPECIFICATION: PORTLAND CEMENT PLASTER 7/8" EXTERIOR GRADE WITH INTEGRAL, ST. TROWEL SMOOTH, ICC ESR 2285 COLOR: TBD NOTES: -
WC 2	EXTERIOR STONE SPECIFICATION: EXISTING STONE TO REMAIN COLOR: - NOTES: -
RF 1	SHINGLE ROOFING MANUFACTURER: GAF TIMBERLINE® COOL ROOF. CLASS 'A' RATED SPECIFICATION: TO MATCH EXISTING COLOR: - NOTES: ICC ESR# 1475

PERMIT SET DOCUMENTS

DRAWN: KC
ISSUED: 8/18/23

SHEET TITLE:

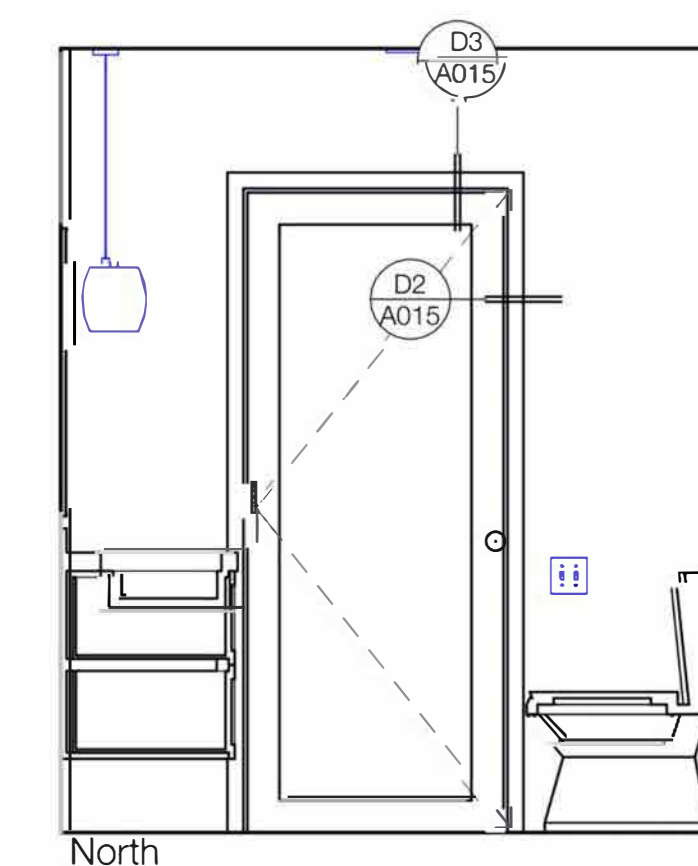
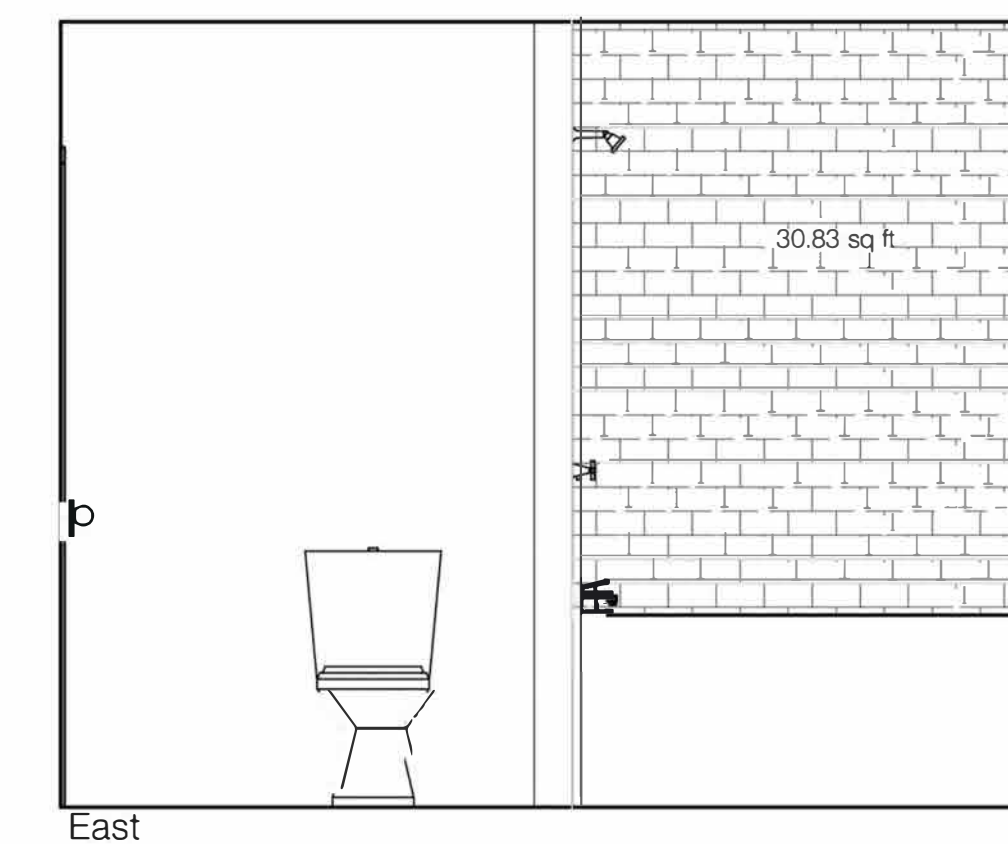
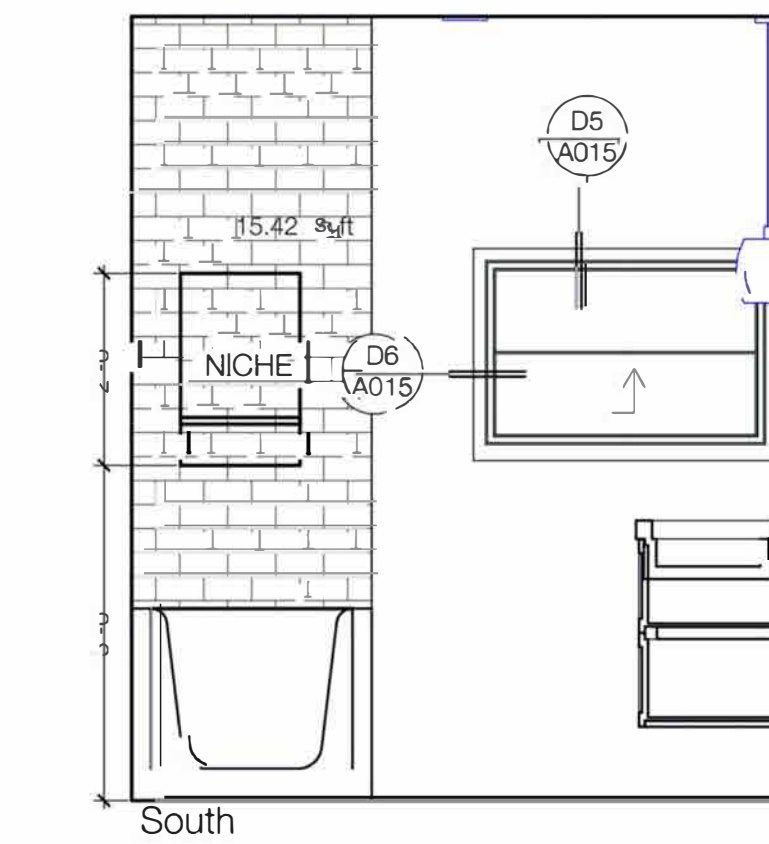
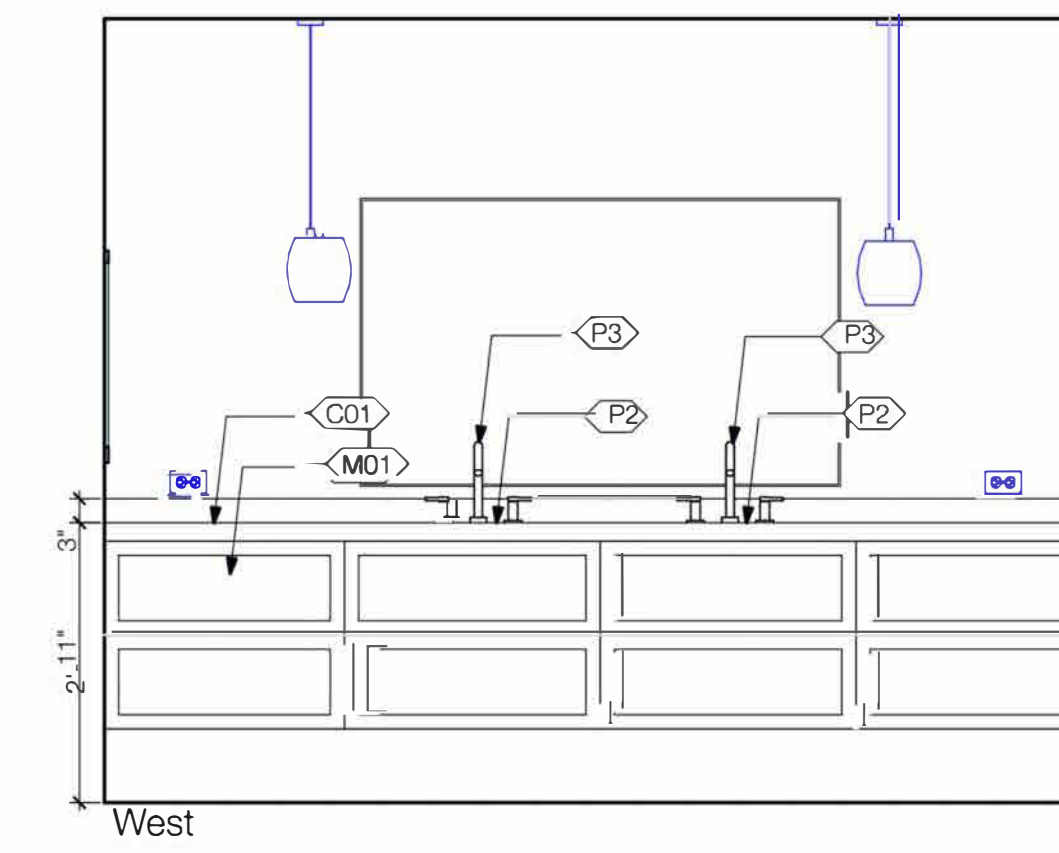
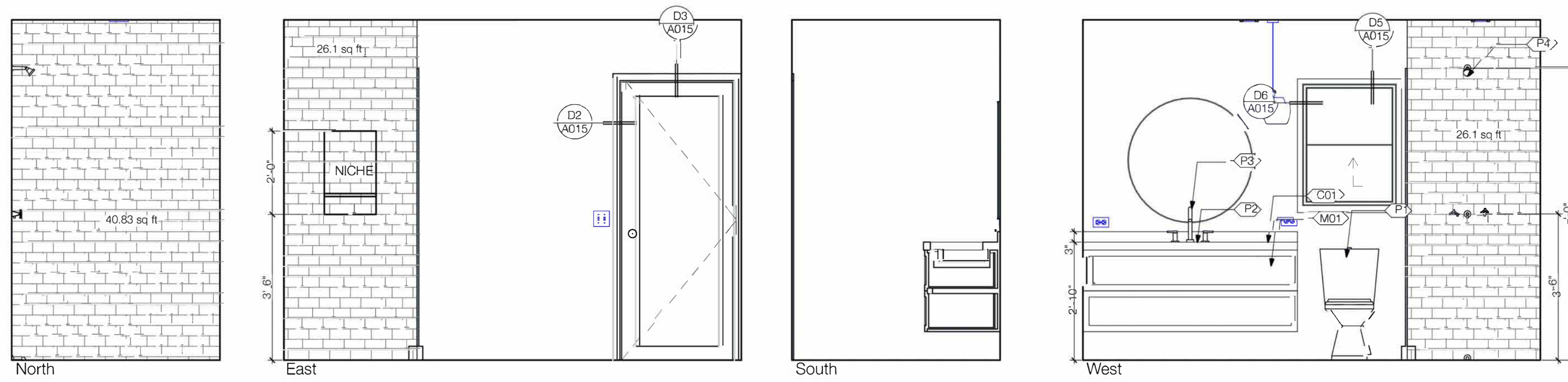
ELEVATIONS

SHEET NUMBER:

A009

LEGAL DESCRIPTION:

APN: 1008-59-302
LOT: 15
BLOCK:
TRACT: 4972



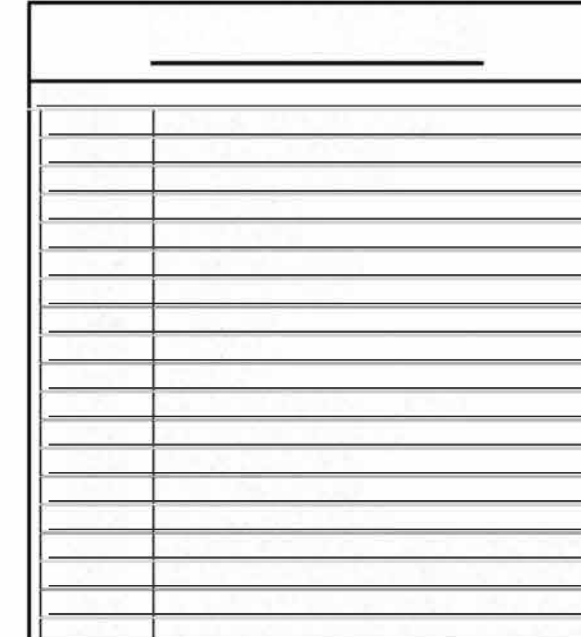
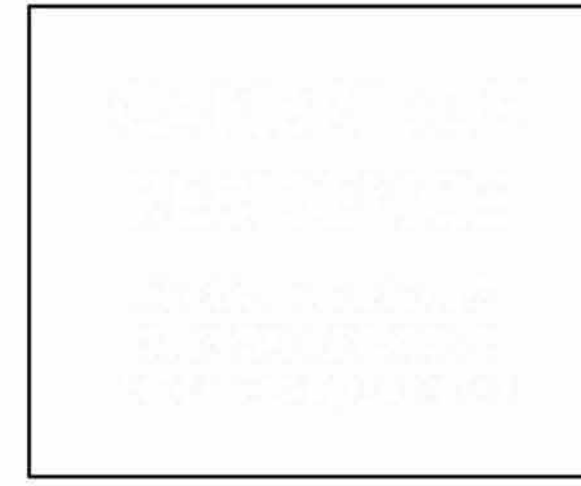
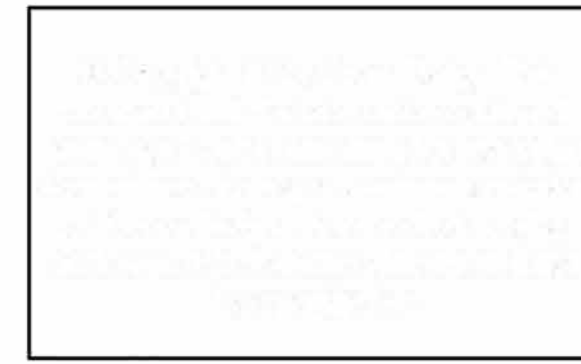
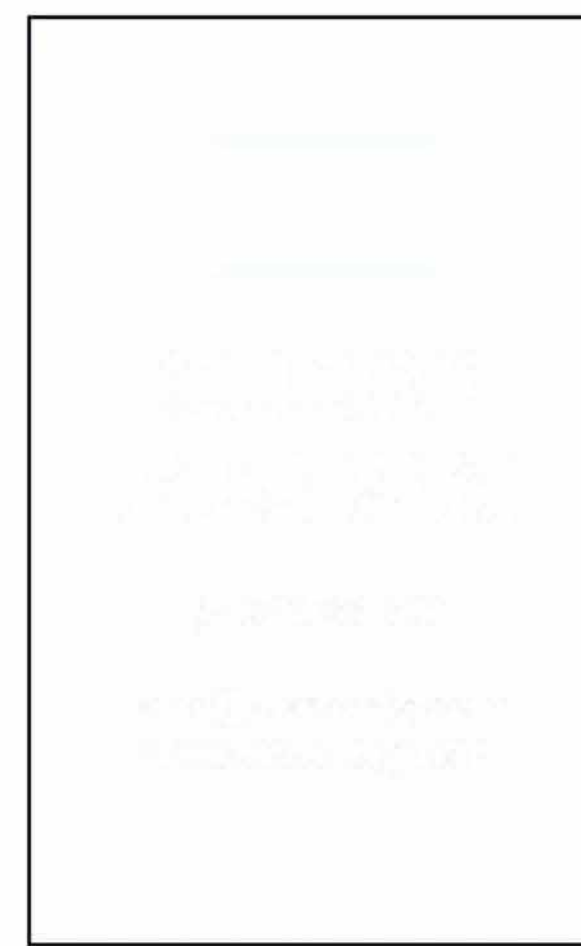
2 Bath 4 Interior Elevations
SCALE: 1/2" = 1'-0"

 1/8' Vinyl Wood Floor **0.0 SQ FT**
 Wood Wall Base **221.5 FT**



1 Enlarged Floorplan
SCALE: 1/2" = 1'-0"

3 Bath 3 Interior Elevations
SCALE: 1/2" = 1'-0"



PERMIT SET DOCUMENTS

DRAWN: KC
ISSUED: 8/18/23

SHEET TITLE:

ENLARGED PLAN / INTERIOR ELEVATIONS

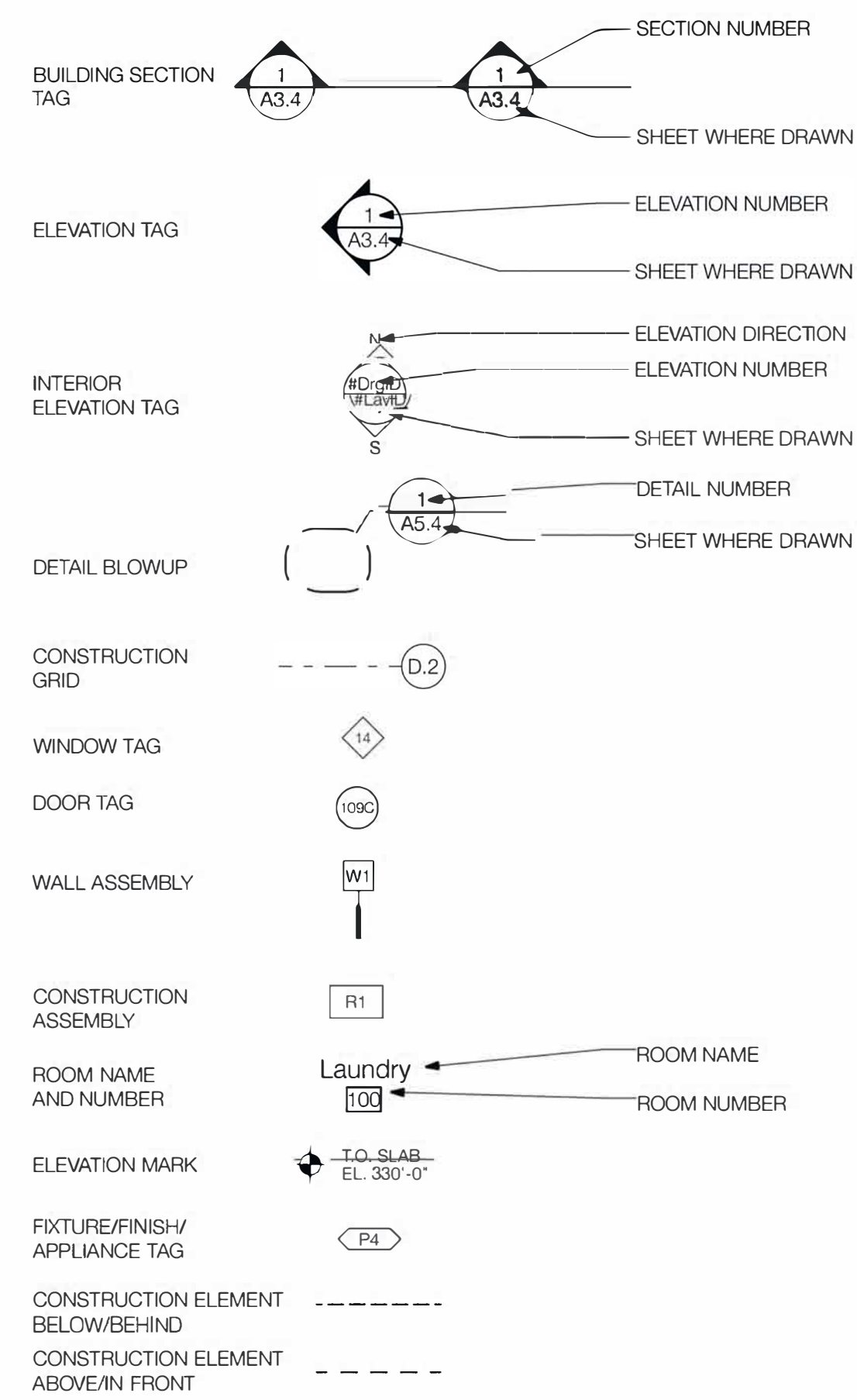
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A018

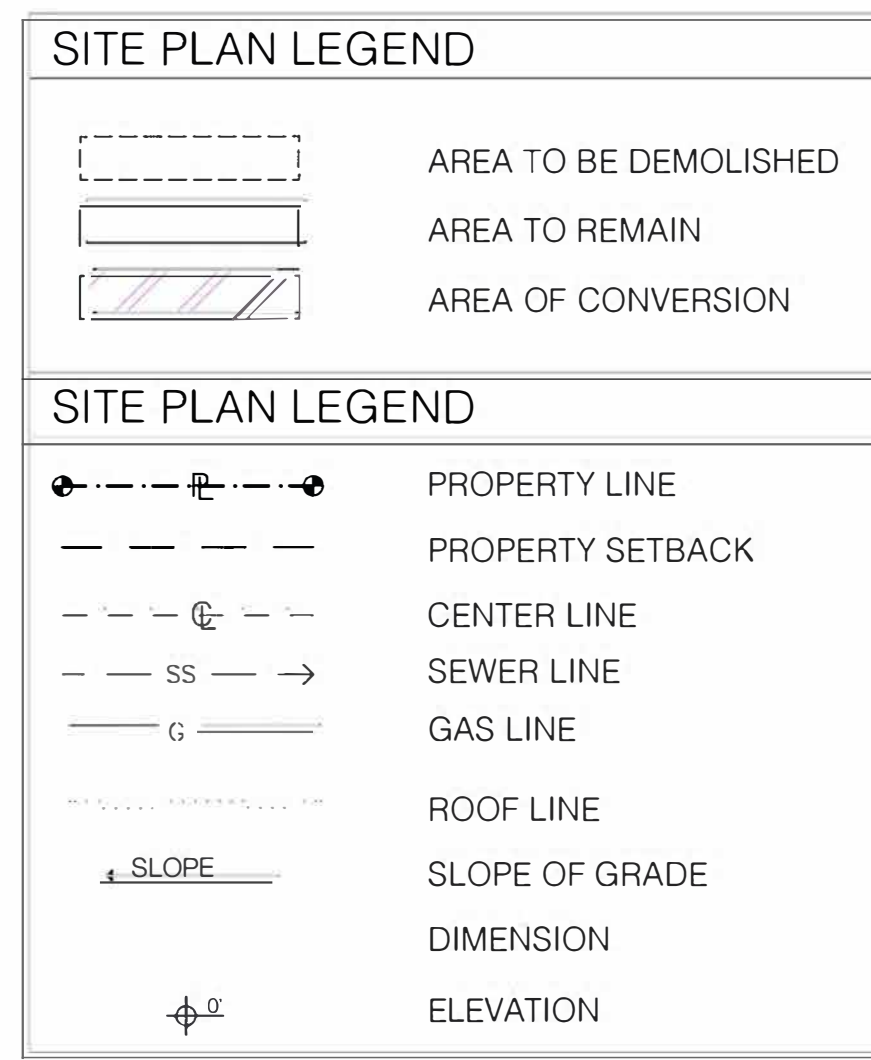
LEGAL DESCRIPTION:

APN: 1008-59-302
LOT: 15
BLOCK: -
TRACT: 4972

ARCHITECTURAL SYMBOLS



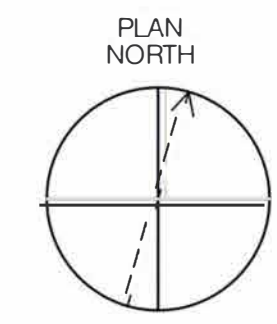
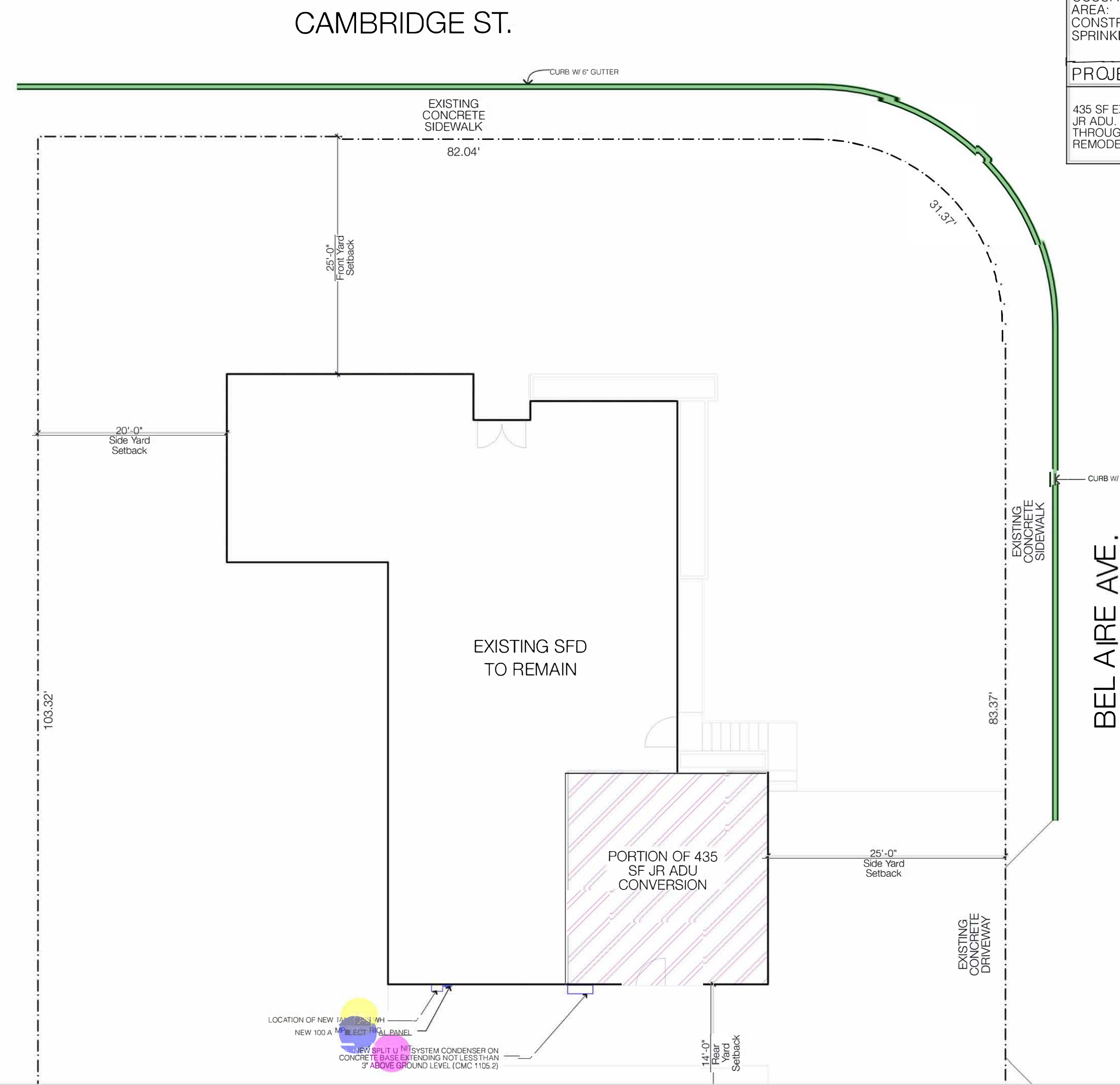
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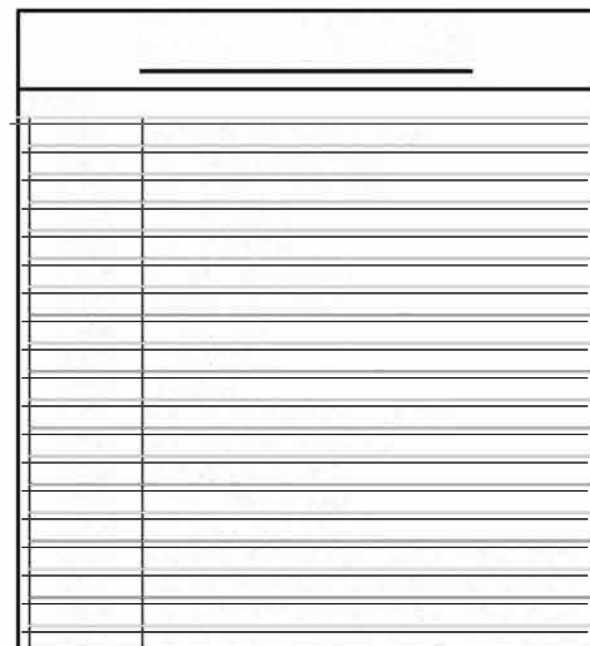
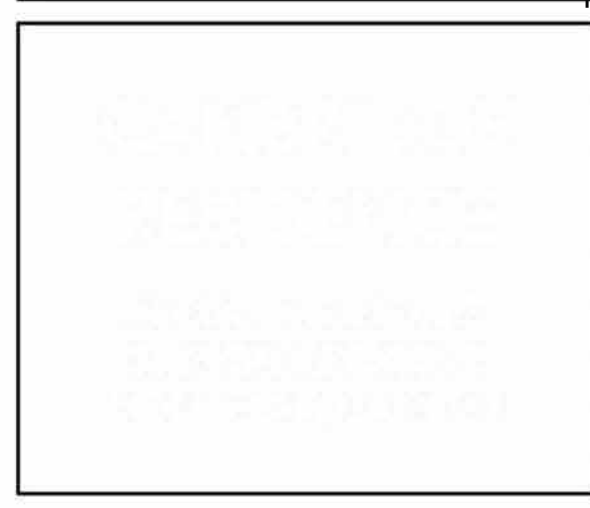
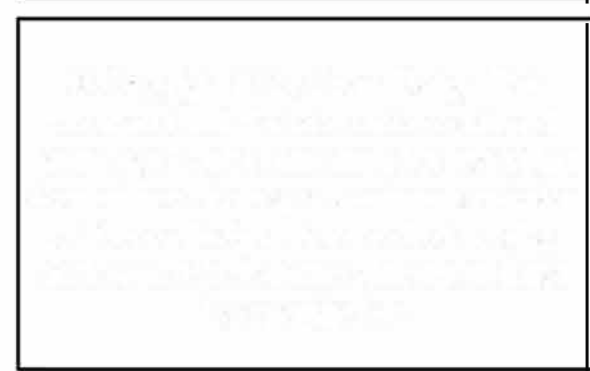
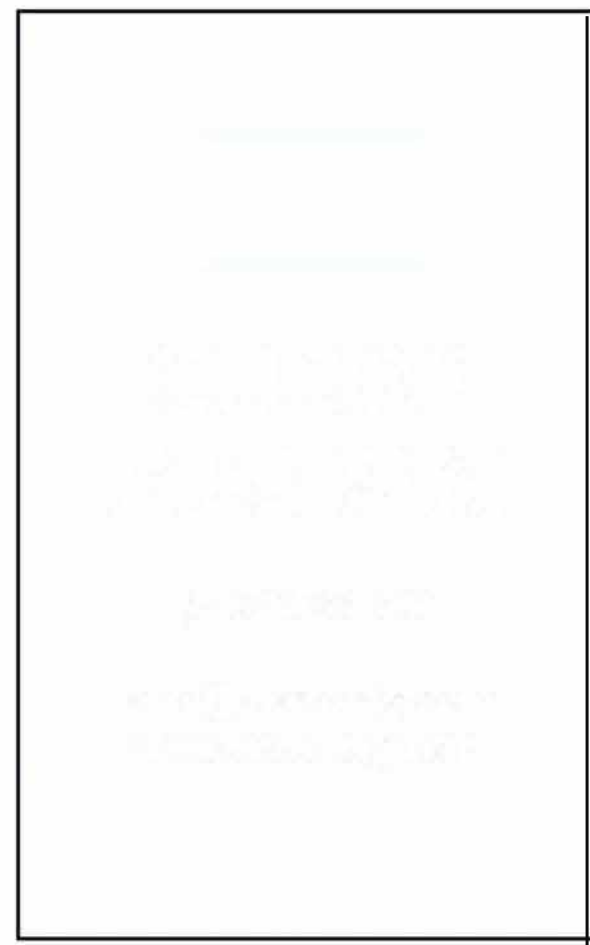
CAMBRIDGE RESIDENCE

PROJECT DIRECTORY		RESIDENTIAL FLOOR AREA			
OWNER: ADRIAN V. ENRIQUEZ 5519 CAMBRIDGE ST. MONTCLAIR, CA 91763	BUILDING AREA	(N)	(E)	CREDIT	TOTAL
	(R-3 OCCUPANCY) SFD FIRST FLOOR	0 SF	2,290 SF	0 SF	2,290 SF
DESIGNER: CUORE DESIGN ph. 626 733 1846	(U OCCUPANCY) ADU CONVERSION GARAGE	0 SF	400 SF	0 SF	400 SF
	(U OCCUPANCY) ADU CONVERSION GARAGE	0 SF	435 SF	0 SF	435 SF
TOTAL JR ADU AREA:					435 SF
TOTAL AREA:					3,125 SF
BUILDING CODE INFORMATION		APPLICABLE CODES		ZONING INFORMATION	
PROJECT SHALL COMPLY WITH TITLE 24 AND 2022 CALIFORNIA RESIDENTIAL CODE (CRC), 2022 CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY EFFICIENCY STANDARDS (CEES), AND THE CALIFORNIA GREEN BUILDING STANDARD CODE (CGBC) AND CITY OF COVINA MUNICIPAL CODE.		PROJECT SHALL COMPLY WITH TITLE 24 AND 2022 CALIFORNIA RESIDENTIAL CODE (CRC), 2022 CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY EFFICIENCY STANDARDS (CEES), AND THE CALIFORNIA GREEN BUILDING STANDARD CODE (CGBC) AND CITY OF COVINA MUNICIPAL CODE.		ZONE: R1-1 USE: SINGLE FAMILY DWELLING	
OCCUPANCY: R-3 AREA: 3,125 SF (R-3) CONSTRUCTION: V-B SPRINKLERS: NO		TOTAL FLOOR AREA: 435 SF		LOT AREA: 10,062 SF COVERAGE AREA: 2,442 SF LOT COVERAGE: 24%	
PROJECT DESCRIPTION		BUILDING CODE FLOOR AREA			
435 SF EXISTING GARAGE CONVERSION TO JR ADU. NEW DOORS + WINDOWS THROUGHOUT. GENERAL INTERIOR REMODEL IN EXISTING SFD.		JR ADU FIRST FLOOR: 435 SF			
		TOTAL FLOOR AREA: 435 SF			

- #### GENERAL NOTES
- EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS WORK AUTHORIZED IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE OR IF THE WORK AUTHORIZED IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS. [CRC R105.5]
 - APPLICATIONS FOR WHICH NO PERMIT IS ISSUED WITHIN 180 DAYS FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE. [CRC R105.3.2]
 - DESTRUCTIVE REMOVAL OF WORK PERFORMED WITHOUT PERMITS MAY BE REQUIRED FOR INSPECTION(S).
 - HOUSE NUMBER TO BE VISIBLE AND LEGIBLE FROM STREET. MINIMUM 4" HIGH BY 1/2" WIDE) CRC319.
 - THE PROPERTY OWNER SHALL ENTER INTO A RESTRICTIVE COVENANT WITH THE CITY PROVIDING THAT THE ACCESSORY DWELLING UNIT SHALL NOT BE SOLD, OR TITLE THERETO TRANSFERRED SEPARATE FROM THAT OF THE PROPERTY AS A WHOLE, AND SHALL NOT BE LEASED FOR A PERIOD OF LESS THAN THIRTY (30) CONSECUTIVE DAYS.
- THE PROPERTY OWNER SHALL SUBMIT A SIGNED AND NOTARIZED COVENANT TO THE PLANNING DIVISION PRIOR TO BUILDING PERMIT ISSUANCE.



- Tankless Water Heater (199,900 BTU) (Rheem - Performance Plus 8.4 GPM) 1.0 EA
- 100 Amp Electrical Panel 1.0 EA
- Split Unit System Condenser 1.0 EA
- 6" Curb 176.1 FT

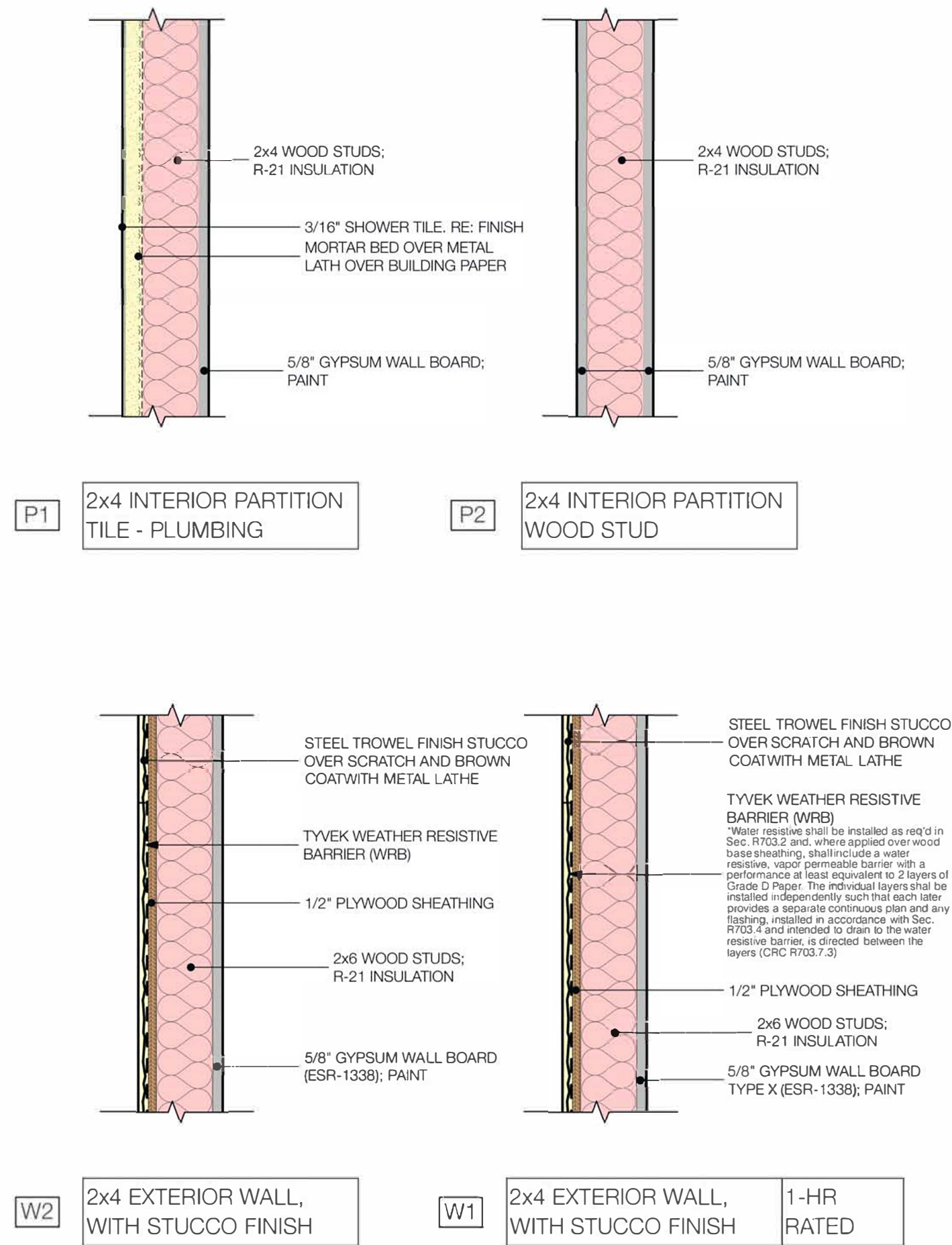


PERMIT SET DOCUMENTS
DRAWN: KC
ISSUED: 8/18/23

SHEET TITLE:
PROJECT DATA / SITE PLAN

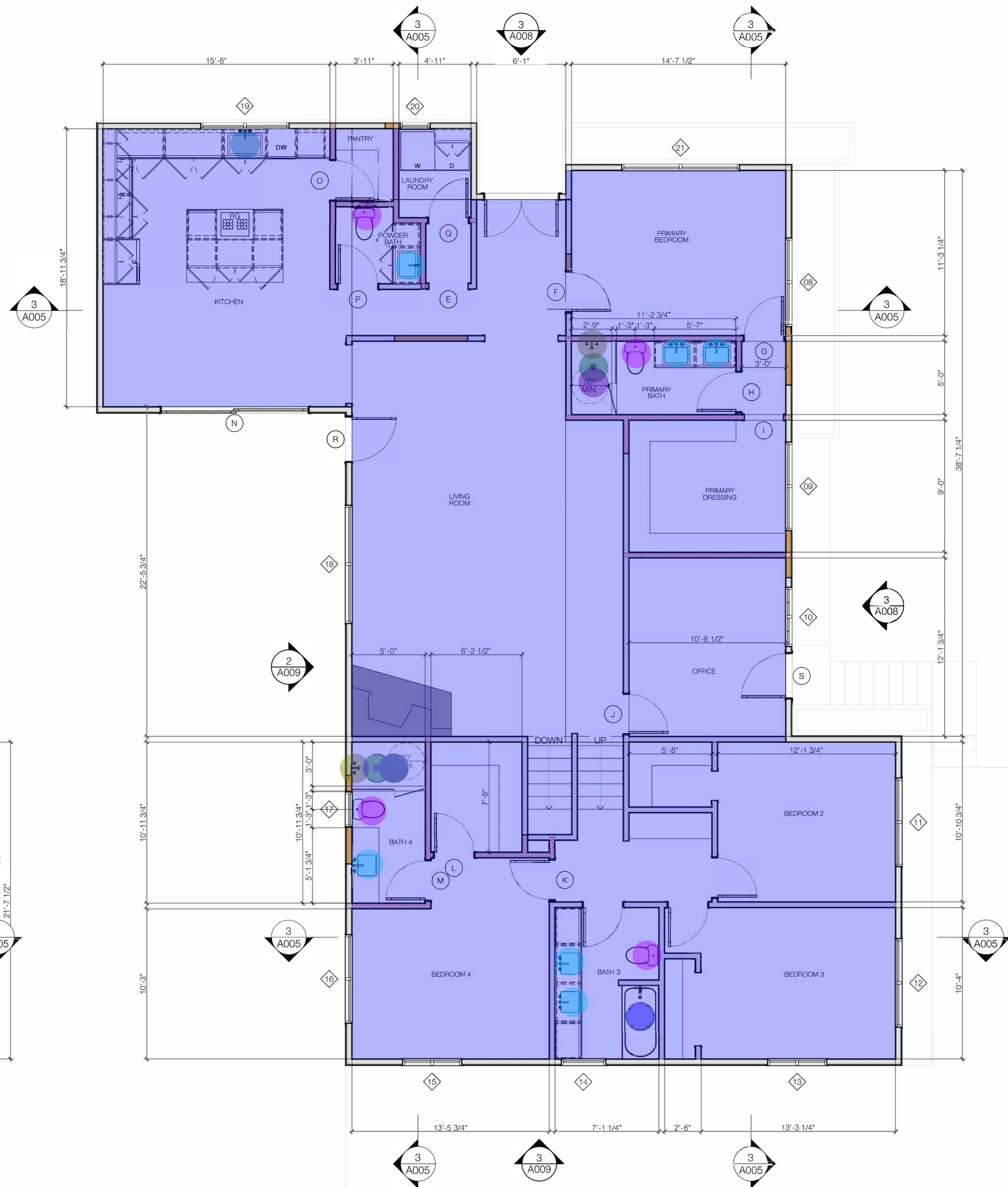
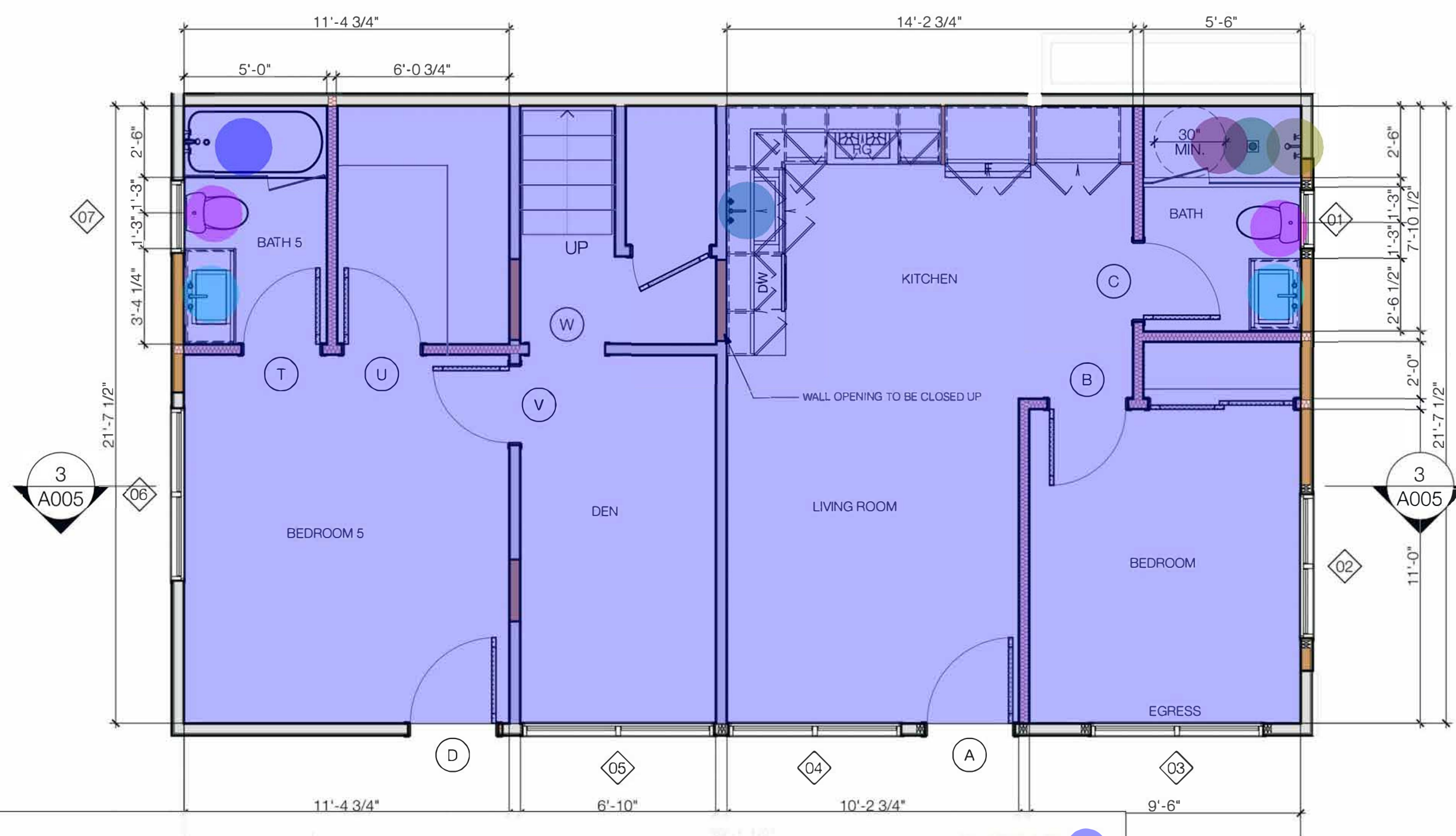
SHEET NUMBER:
A001

LEGAL DESCRIPTION:
APN: 1008-59-302
LOT: 15
BLOCK: -
TRACT: 4972



FLOOR PLAN NOTES

INTERIOR ENVIRONMENT
 1. SHOWER DOORS SHALL SWING OUT. NET AREA OF SHOWER RECEPTOR SHALL BE A MIN. OF 1024 SQ. INCHES AND ENCOMPASS 30" IN DIA.
 2. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS INSTALLED SHALL BE FINISHED WITH A SMOOTH, NON ABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 72" ABOVE THE FLOOR. CRC R307.2
 3. FLAME SPREAD INDEX AND SMOKE DEVELOPED INDEX FOR INSULATION SHALL BE IN ACCORDANCE WITH SECTIONS R302.10.1 THROUGH R302.10.5
SMOKE AND CARBON MONOXIDE ALARMS
 4. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH BOTH SECTIONS R314 AND SECTION R315. ALL APPLICABLE STANDARDS AND REQUIREMENTS FOR LISTING AND APPROVAL BY THE OFFICE OF THE STARE FIRE MARSHAL, FOR SMOKE ALARMS.
EXTERIOR LATH
 5. WATER RESISTIVE EXTERIOR LATH SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND WHERE APPLIED OVER WOOD BASE SHEATHING SHALL INCLUDE A WATER RESISTIVE VAPOR PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER. THE INDIVIDUAL LAYERS SHALL BE INSTALLED INDEPENDENTLY SUCH THAT EACH LAYER PROVIDES A SEPARATE CONTINUOUS PLANE AND ANY SLASHING INSTALLED IN ACCORDANCE WITH SECTION R703.4 AND INTENDED TO DRAIN TO WATER RESISTIVE BARRIER IS DIRECTED BETWEEN THE LAYERS. CRC R703.7.3
PLUMBING
 6. AS ON JAN. 1, 2014 SENATE BILL 407 REQUIRES ALL PLUMBING FIXTURES TO BE REPLACED WITH COMPLIANT WATER CONSERVING FIXTURES AND SHALL NEED TO BE VERIFIED PRIOR TO BUILDING FINAL INSPECTION.
 7. SHOWERS AND TUB SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE THERMOSTATIC OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION FOR THE RATED FLOW RATE OF THE INSTALLED SHOWER HEAD.



- Bath Tub
- Water Closet
- Lavatory Sink w/ Black Faucet
- (5'-6"x2'-6") Shower Pan
- Floor Drain
- Shower Set
- (5'-0"x3'-0") Shower Pan
- (5'-0"x2'-9") Shower Pan
- Kitchen Sink w/ Black Faucet
- MEP Allowences

- 2.0 EA
- 6.0 EA
- 8.0 EA
- 1.0 EA
- 3.0 EA
- 3.0 EA
- 1.0 EA
- 1.0 EA
- 2.0 EA
- 3137.9 SQ FT

1 Proposed Floor Plan
 SCALE: 1/4" = 1'-0"

PERMIT SET DOCUMENTS

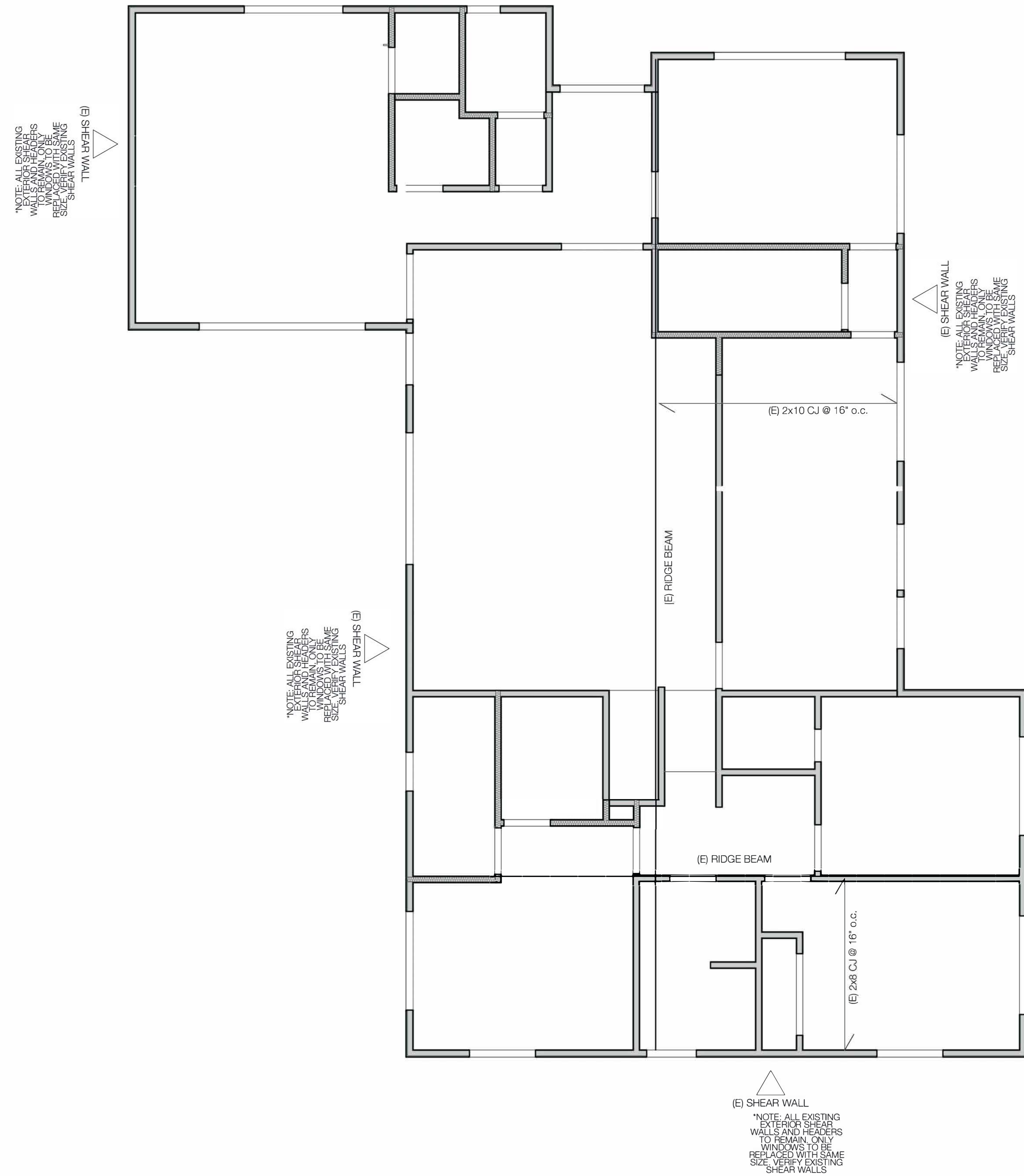
DRAWN: KC
 ISSUED: 8/18/23

SHEET TITLE:
 PROPOSED PLANS

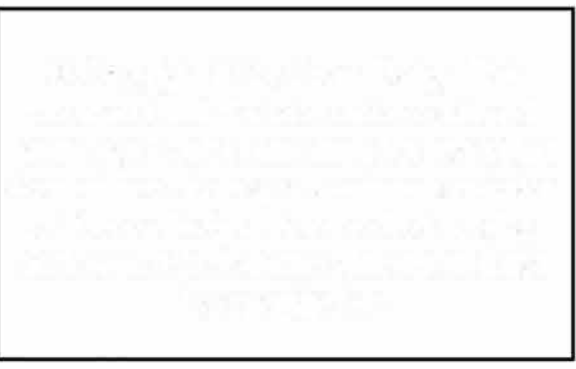
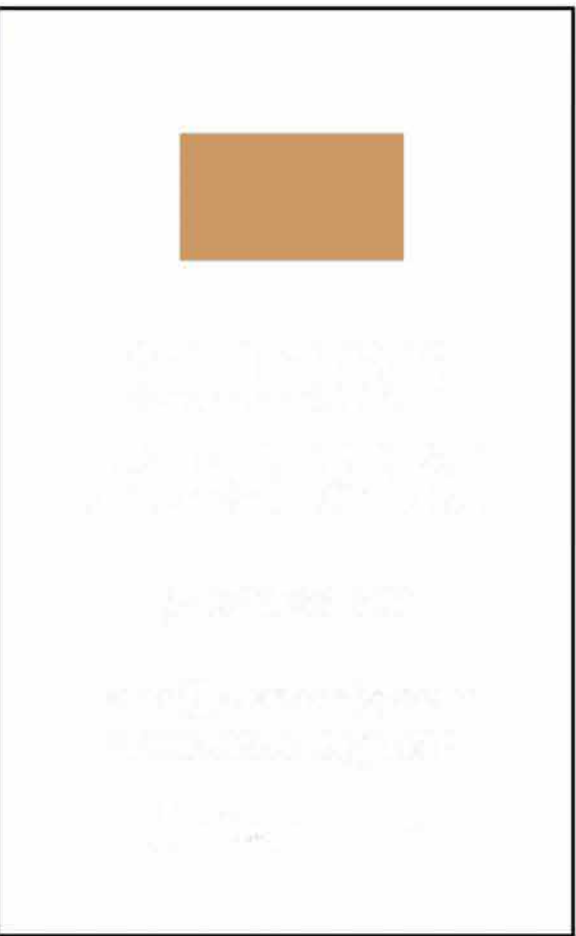
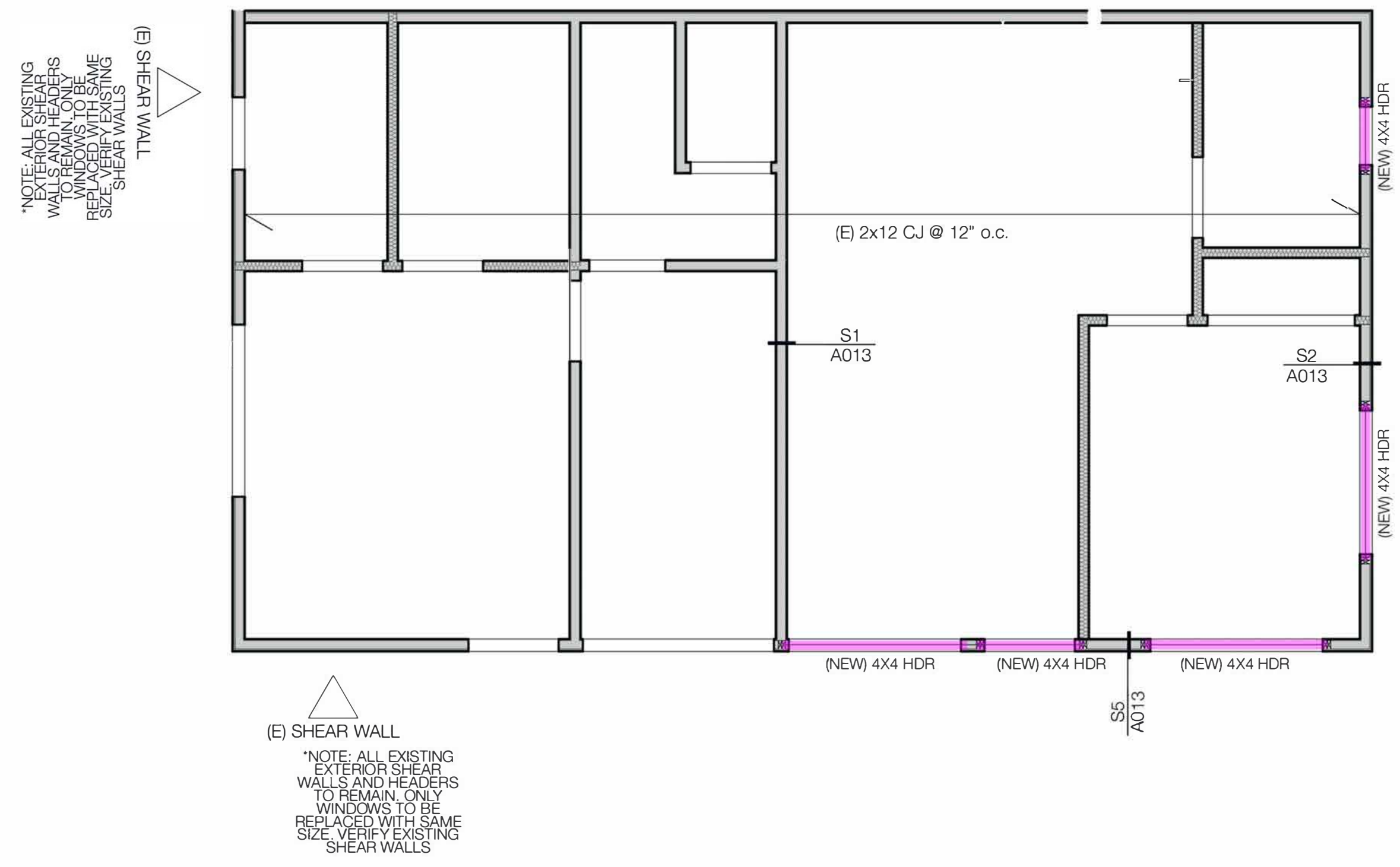
SHEET NUMBER:
A007

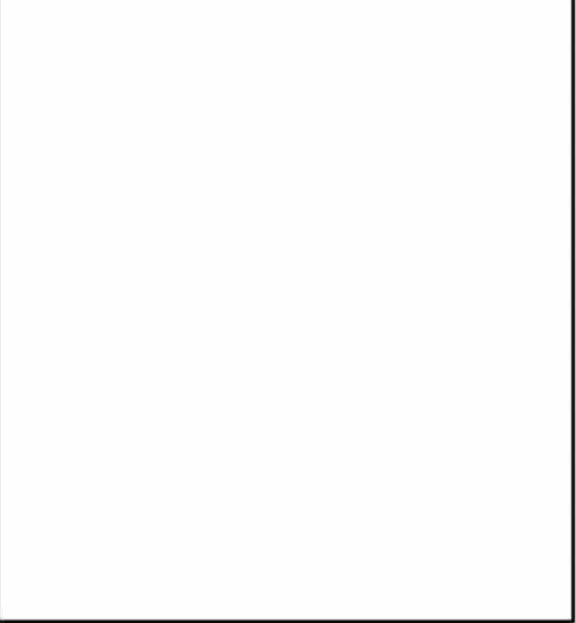
LEGAL DESCRIPTION:
 APN: 1008-59-302
 LOT: 15
 BLOCK: -
 TRACT: 4972

2 Ceiling Framing Plan
SCALE: 1/4" = 1'-0"



3 Lower Level Ceiling Framing Plan
SCALE: 1/4" = 1'-0"





PERMIT SET DOCUMENTS

DRAWN: KC
ISSUED: 8/18/23

SHEET TITLE:

CEILING FRAMING PLAN

SHEET NUMBER:

A012

LEGAL DESCRIPTION:

APN: 1008-59-302
LOT: 15
BLOCK: -
TRACT: 4972

(4x4) Header 24.7 FT

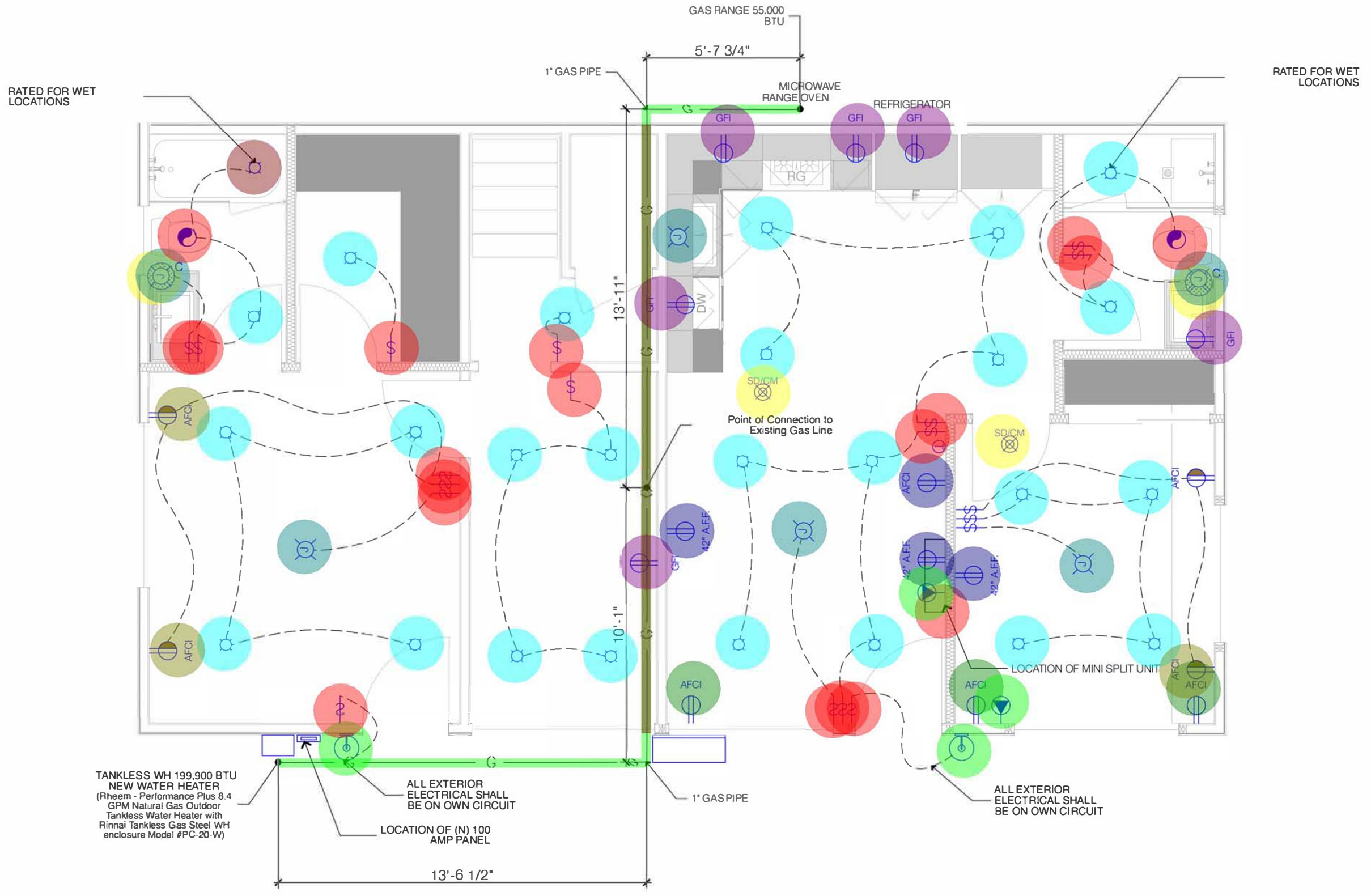
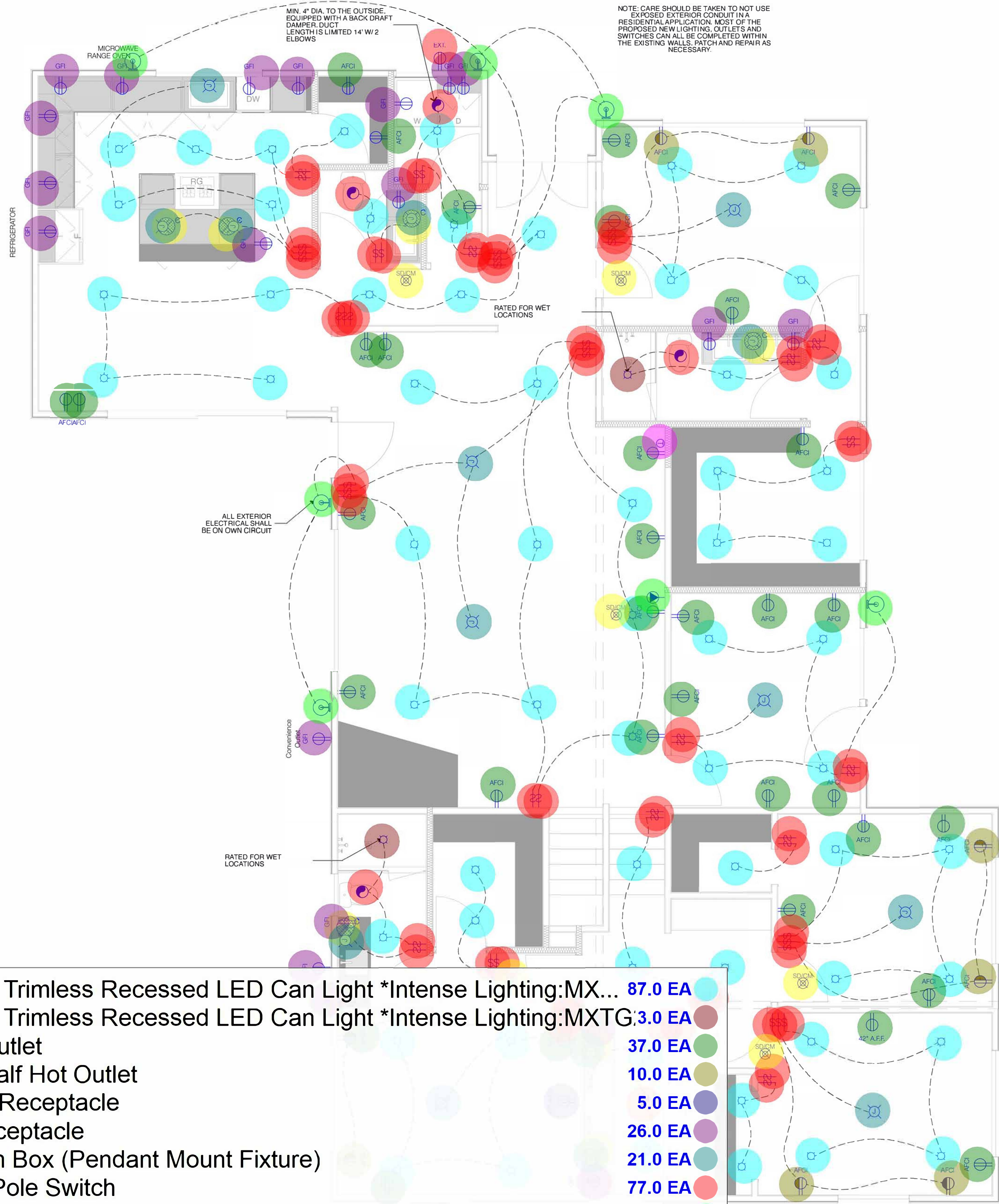
PLUMBING NOTES

- Domestic hot water piping shall be insulated. Hot water pipe insulation shall have a minimum wall thickness of not less than the diameter of the pipe for a pipe up to 2" in dia. Insulation wall thickness shall be not less than 2" for a pipe of 2" or more in dia.
 Exceptions:
 a. Piping that penetrates framing members shall not be required to have pipe insulation for the distance of the framing penetration.
 b. Hot water piping between the fixture control valve or supply stop and the fixture or appliance shall not be required to be insulated.
- Instantaneous gas water heaters (tankless) are not direct replacements for conventional tank type water heaters.

RCP/ELEC NOTES

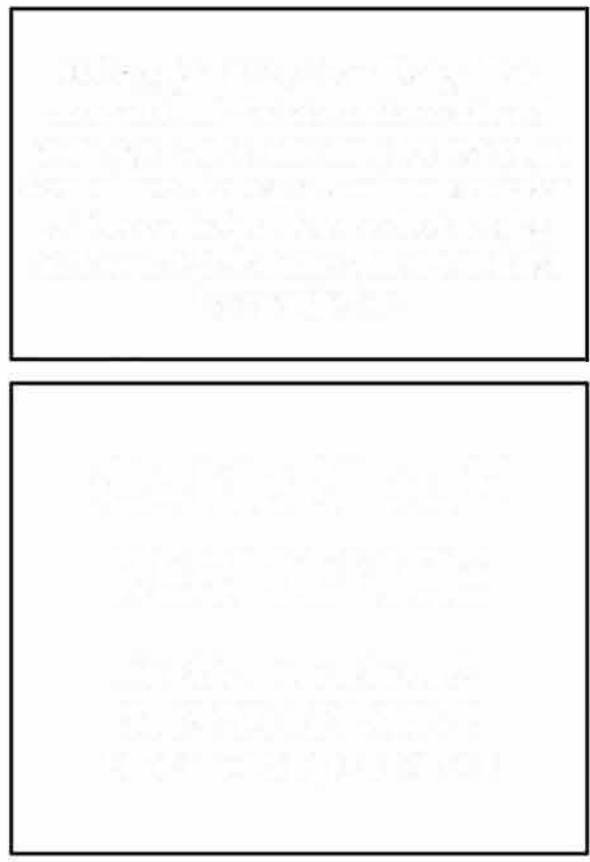
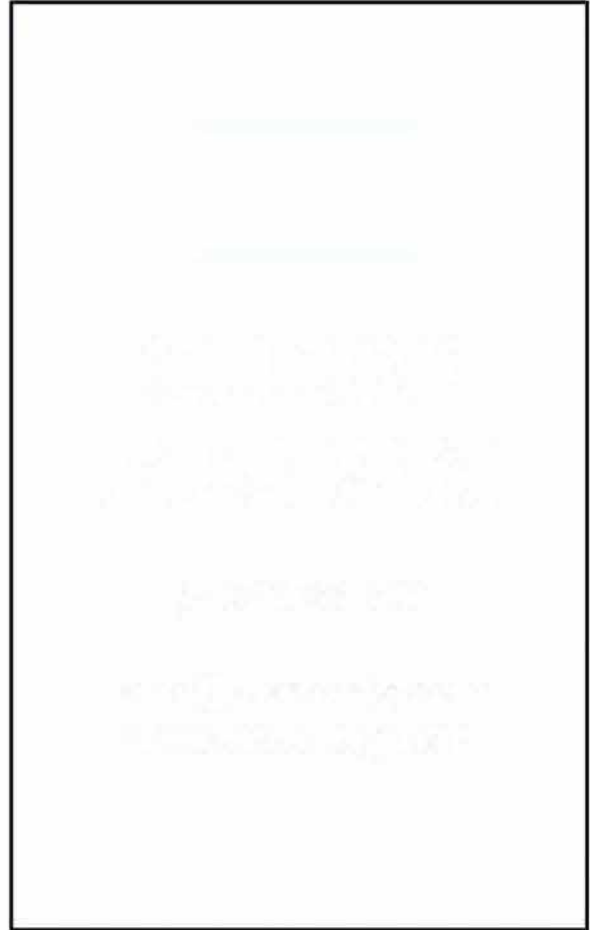
- Provide Fluorescent General Lighting (40 Lumens/Watt Min) in Kitchen & Bathrooms Typical. At least 50% high efficiency. See energy calculations.
- All Lighting in Bathrooms, Laundry Room, Garage, and Powder Room to be controlled by Motion Sensors.
- Lighting Fixtures in Closets to be to be surface mounted or recessed incandescent fixtures with a completely enclosed lamp per CEC Article 410.8(B). The lighting fixture shall have a 6" clearance from storage space.
- All JAB complaint light sources, except those in closets less than 70 square feet and those in hallways, shall be controlled by dimmers or vacancy sensors. (150)(k)(2)(k) & Table 150.0-A CEC) JAB complaint light sources include light sources in ceiling recessed downlight luminaires and GU-24 sockets containing LED light sources.
- All outdoor lighting attached to buildings must be high efficacy or controlled by a motion sensor with photo control. Photo control is an electric device that detects changes in illumination, then controls its electric load at predetermined illumination levels.
- At the time of rough installation or during storage on the construction site and until final startup of the heating and cooling equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of dust or debris which may collect in the system.
- Provide AFCI Outlets in All Rooms listed to provide protection of the entire branch circuit per CEC Art. 210.12(B).
- A Dedicated 20A circuit is required to serve required bathroom receptacles. [§210.11(e)(3) CEC]
- All Refrigerator outlets along with two additional kitchen outlets to be on dedicated circuit for future generator hook up.
- Provide arc-fault circuit interrupter protection for all outlets (not just receptacles throughout dwelling unit except where GFI protection is required. [§210.12 CEC]
- Required Wall outlets to be tamper resistant. [§406.12 CEC]
- Residential outdoor lighting permanently mounted to the residence or other buildings on the same lot be high-efficacy and meet the following requirements: (150)(k)(3A) CEC
 - Lights shall comply with one of the two options below:
 - Controlled by a photocell and motion sensor. Controls that override to ON shall not be allowed unless the override automatically reactivates the motion sensor within 6 hours.
 - Controlled by (1) Photocontrol and automatic time switch control OR (2) Astronomical time clock OR (3) Energy management control system meeting the requirements of 150(k)(3A).
 - Lights shall be controlled by a manual ON and OFF switch that does not override to ON the automatic actions of item i or item ii chosen above.
- Exhaust fan may be on a switch instead of a continuous operating fan as long as:
 - Exhaust fan switch is labeled to state: "fan should be on whenever the home is occupied" and
 - The system must be designed so that it can operate automatically based on a timer. The intermittent mechanical ventilation system must operate at least one hour per day and must operate at least 10% of the time, and
 - The ventilation airflow is increased to respond to the fewer hours of fan operation and the tendency of pollutant concentrations to build up during off cycles.

SYMBOL	DESCRIPTION	SPEC	HEIGHT
□	TRIMLESS RECESSED LED CAN LIGHT	INTENSE LIGHTING: MXTG2-STLD300 WLO27950 HOUSING: MXG2DSTL-NCL0D10 3.5" X 3.5" G2 LED SQUARE TRIMLESS DOWNLIGHT SOFT WHITE	CL.G.
⊙	EXHAUST FAN ON SWITCH SEE RCP NOTE #13	PANASONIC WHISPERCHOICE 110 CFM 0.3 SONE CEILING MOUNTED ENERGY STAR RATED FAN W/ HUMIDISTAT CONTROL AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING 4" DUCT	CL.G.
⊕	THERMOSTAT	SPLIT UNIT SYSTEM	PER PLAN
⚡	LIGHT SWITCH/ELEC. RUN		4'-0" AFF. U.N.O.
⊕	DUPLEX OUTLET/GFI IF REQ'D		1' AFF. U.N.O.
⊕	220V DUPLEX OUTLET		1' AFF. U.N.O.
⊕	HALF HOT OUTLET		1' AFF. U.N.O.
⊕	SMOKE DETECTOR & CARBON MONOXIDE DETECTOR	NEST PROTECT: 2ND GEN SMOKE AND CARBON MONOXIDE ALARM	PER PLAN
⊕	J-BOX; PENDANT MOUNT FIXTURE		CL.G.
⊕	J-BOX; WALL SCONCE/MOUNT HT.		PER ELEV.
⊕	J-BOX; WALL MOUNT	HIGH EFFICIENCY EXTERIOR LIGHTING WITH MOTION SENSOR	PER PLAN
⊕	EXTERIOR DUPLEX GFCI OUTLET	WEATHERPROOF OUTLET BOX	PER PLAN
⊕	VACANCY SENSOR REQ'D		4'-0" AFF. U.N.O.
⊕	DATA/CABLE CONNECTION		PER PLAN



- 3.5" G2 Trimless Recessed LED Can Light *Intense Lighting:MX... 87.0 EA
- 3.5" G2 Trimless Recessed LED Can Light *Intense Lighting:MXTG;3.0 EA
- AFCI Outlet 37.0 EA
- AFCI Half Hot Outlet 10.0 EA
- Duplex Receptacle 5.0 EA
- GFI Receptacle 26.0 EA
- Junction Box (Pendant Mount Fixture) 21.0 EA
- Single Pole Switch 77.0 EA
- Data/Cable Connection 3.0 EA
- Smoke Detector & Carbon Monoxide Detector 8.0 EA
- Bathroom Exhaust Fan (Panasonic Whisperchoice 110 CFM 0.3 ... 7.0 EA
- Thermostate 1.0 EA
- Weather Proof GFI Receptacle 1.0 EA
- Wall Mounted Exterior Junction Box 8.0 EA
- 12" LED Light Fixture 9.0 EA
- Mini Split Unit 1.0 EA
- (1") Gas Pipe 43.2 FT
- Slab Cut 22.4 FT

2 Electrical Lower Level Plan
SCALE: 1/4" = 1'-0"



SHEET INDEX:

PLANS	DESCRIPTION
A001	PROJECT DATA / SITE PLAN
A002	GREEN BUILDING DATA
A003	GREEN BUILDING DATA
T24-1	TITLE 24 DATA
T24-2	TITLE 24 DATA
A006	DEMOLITION PLANS
A007	PROPOSED PLANS
A008	ELEVATIONS
A009	ELEVATIONS
A005	SECTIONS
A011	WINDOW / DOOR SCHEDULES
A012	CEILING FRAMING PLAN
A013	STRUCTURAL DATA
A014	ELECTRICAL PLANS
A015	SCHEDULES / DETAILS
A016	ENLARGED PLAN / INTERIOR ELEVATIONS
A017	ENLARGED PLAN / INTERIOR ELEVATIONS
A018	ENLARGED PLAN / INTERIOR ELEVATIONS
A019	ENLARGED PLAN / INTERIOR ELEVATIONS

PERMIT SET DOCUMENTS

DRAWN: KC
ISSUED: 8/18/23

SHEET TITLE:

ELECTRICAL PLANS

SHEET NUMBER:

A014

LEGAL DESCRIPTION:

APN: 1008-59-302
LOT: 15
BLOCK: -
TRACT: 4972



CAMBRIDGE RESIDENCE

PROJECT COST US\$ 438,710.52

OVERHEAD COST US\$ 65,806.58

5900 Balcones Drive, Suite 100, Austin, TX 78731

Project Scope: GC + MEP

PROFIT COST US\$ 65,806.58

projects@bidsmartestimates.com

Addendum: N/A

ADDITIONAL COST (If Any) US\$ -

+17373076620

Date: Monday, October 28, 2024

TOTAL BID COST US\$ 570,323.67

Table with columns: SR. NO., DWG. NO., DETAIL NO., CSI NO., DESCRIPTION, QUANTITY, UNIT, WASTAGE %, QTY W/ WASTAGE, UNIT MATERIAL COST, MATERIAL COST, MAN HOUR RATE, UNIT MANHOURS, TOTAL MANHOURS, MANHOURS COST, TOTAL COST

GENERAL REQUIREMENTS SUBGROUP WORK US\$ 80.17

Table for General Requirements Subgroup Work including Scaffolding and subtotal rows.

FACILITY CONSTRUCTION SUBGROUP WORK US\$ 80.17

EXISTING CONDITIONS/ DEMOLITION

Table for Facility Construction Subgroup Work - Existing Conditions/ Demolition, listing items 2 through 20.

CONCRETE

Table for Facility Construction Subgroup Work - Concrete, listing item 21 (4" Thk. Reinforced Concrete Slab).

WOOD, PLASTICS, AND COMPOSITES

Table for Facility Construction Subgroup Work - Wood, Plastics, and Composites, listing items 22 through 24.

THERMAL AND MOISTURE PROTECTION

Table for Facility Construction Subgroup Work - Thermal and Moisture Protection, listing items 25 through 27.

OPENINGS

Table for Facility Construction Subgroup Work - Openings, listing items 28 through 32.

- 2 Prices can vary, depending upon field conditions.
- 3 All other prices are excluded that are not included in the estimate above.
- 4 Cells highlighted with green, please price the items as per your own facility.

CAMBRIDGE RESIDENCE

BID RECAP											
DIVISION	DESCRIPTION	MATERIAL COST	LABOR COST	MATERIAL TAX	LABOR TAX	TOTAL COST	OVERHEADS	PROFIT	ADDITIONAL COST (If Any)	TOTAL PRICE	
GENERAL REQUIREMENTS SUBGROUP WORK											
	GENERAL REQUIREMENTS	US\$ -	US\$ 4,497.37	US\$ -	US\$ -	US\$ 4,497.37	US\$ 674.61	US\$ 674.61	US\$ -	US\$ 5,846.58	
FACILITY CONSTRUCTION SUBGROUP WORK											
	EXISTING CONDITIONS/ DEMOLITION	US\$ -	US\$ 20,967.22	US\$ -	US\$ -	US\$ 20,967.22	US\$ 3,145.08	US\$ 3,145.08	US\$ -	US\$ 27,257.38	
	CONCRETE	US\$ 76.25	US\$ 76.90	US\$ -	US\$ -	US\$ 153.15	US\$ 22.97	US\$ 22.97	US\$ -	US\$ 199.09	
	WOOD, PLASTICS, AND COMPOSITES	US\$ 3,896.32	US\$ 4,739.65	US\$ -	US\$ -	US\$ 8,635.98	US\$ 1,295.40	US\$ 1,295.40	US\$ -	US\$ 11,226.77	
	THERMAL AND MOISTURE PROTECTION	US\$ 4,049.98	US\$ 1,469.85	US\$ -	US\$ -	US\$ 5,519.83	US\$ 827.97	US\$ 827.97	US\$ -	US\$ 7,175.77	
	OPENINGS	US\$ 55,168.55	US\$ 11,158.45	US\$ -	US\$ -	US\$ 66,326.99	US\$ 9,949.05	US\$ 9,949.05	US\$ -	US\$ 86,225.09	
	FINISHES	US\$ 47,869.22	US\$ 101,727.16	US\$ -	US\$ -	US\$ 149,596.37	US\$ 22,439.46	US\$ 22,439.46	US\$ -	US\$ 194,475.29	
	SPECIALTIES	US\$ 12,360.41	US\$ 4,947.43	US\$ -	US\$ -	US\$ 17,307.84	US\$ 2,596.18	US\$ 2,596.18	US\$ -	US\$ 22,500.19	
	EQUIPMENT	US\$ 8,950.00	US\$ 2,180.30	US\$ -	US\$ -	US\$ 11,130.30	US\$ 1,669.55	US\$ 1,669.55	US\$ -	US\$ 14,469.39	
	FURNISHINGS	US\$ 28,926.85	US\$ 4,863.96	US\$ -	US\$ -	US\$ 33,790.80	US\$ 5,068.62	US\$ 5,068.62	US\$ -	US\$ 43,928.05	
FACILITY SERVICES SUBGROUP WORK											
	PLUMBING	US\$ 36,914.55	US\$ 14,500.94	US\$ -	US\$ -	US\$ 51,415.49	US\$ 7,712.32	US\$ 7,712.32	US\$ -	US\$ 66,840.13	
	HEATING, VENTILATING & AIR- CONDITIONING	US\$ 6,493.51	US\$ 2,708.68	US\$ -	US\$ -	US\$ 9,202.19	US\$ 1,380.33	US\$ 1,380.33	US\$ -	US\$ 11,962.85	
	ELECTRICAL	US\$ 29,197.81	US\$ 27,501.46	US\$ -	US\$ -	US\$ 56,699.27	US\$ 8,504.89	US\$ 8,504.89	US\$ -	US\$ 73,709.05	
SITE & INFRASTRUCTURE SUBGROUP WORK											
	EARTHWORK	US\$ -	US\$ 113.81	US\$ -	US\$ -	US\$ 113.81	US\$ 17.07	US\$ 17.07	US\$ -	US\$ 147.95	
	EXTERIOR IMPROVEMENTS	US\$ 1,855.49	US\$ 1,498.42	US\$ -	US\$ -	US\$ 3,353.91	US\$ 503.09	US\$ 503.09	US\$ -	US\$ 4,360.08	
	TOTALS	US\$ 235,759	US\$ 202,952	US\$ -	US\$ -	US\$ 438,711	US\$ 65,807	US\$ 65,807	US\$ -	US\$ 570,324	

BID SUMMARY				MAN-LOADING AND SUPERVISION ANALYSIS			
1	TOTAL MATERIAL COST		US\$ 235,758.93	1	TOTAL MANHOURS WITH SUPERVISION		2,532
	MATERIAL SALES TAX		US\$ -	2	NUMBER OF MAN-DAYS		316.45
	JOB EXPENSE			3	MAN LOAD		5
2	TOTAL LABOR COST		US\$ 202,951.59	4	JOURNEYMAN RATE	3	
	LABOR TAX		US\$ -	5	SUPERVISOR RATE	1	
3	TOTAL COST		US\$ 438,710.52	6	UNSKILLED LABOR RATE	1	
	OVERHEADS @	15%	US\$ 65,806.58	7	COMPOSITE LABOR RATE		US\$ -
	PROFIT @	15%	US\$ 65,806.58	8	PREVAILING WAGE RATE		US\$ 80.17
4	TOTAL COST W/ OVERHEADS + PROFIT		US\$ 570,323.67	INSERT VALUES IN YELLOW HIGHLIGHTED CELLS WHERE APPLICABLE			
	BOND & INSURANCE		US\$ -	Project GSF: 3300 SF			
	PROJECT SUPERVISION & PROJECT MANAGEMENT		US\$ -				
	SUBMITTALS, SAMPLES, SHOP DRAWINGS, SITE SAFETY PLAN, ETC.		US\$ -				
	TEMPORARY FACILITIES & CONTROLS		US\$ -				
	PROJECT SCHEDULE (Primavera P3 or P6)		US\$ -				
	OFFICE OVERHEADS		US\$ -				
	CLOSEOUT PROCEDURES		US\$ -				
	PERMITS		US\$ -				
	ALLOWANCES		US\$ -				
	MOBILIZATION / DEMOBILIZATION		US\$ -				
	SUB-CONTRACTS		US\$ -				
	BOND PREMIUM		US\$ -				
5	BASE BID PRICE		US\$ 570,323.67				

